

HOTEL DEVELOPMENT SUMMARY 35 GOLFLINKS RD, STIRLING, SA.	
DEVELOPMENT SITE AREA	
HOTEL	
SUITES	56 SUITES
SERVICED APARTMENT - 2 BED	15 APARTMENTS
SERVICED APARTMENT - 3 BED	15 APARTMENTS
PENTHOUSE APARTMENTS	2 APARTMENTS
TOTAL	88 UNITS
PODS	
TOTAL	17 UNITS - 1 BEDROOM
PARKING	
CAR SPACES - MAIN BUILDING	200 SPACES
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES

AREA

AREA TYPE

FACILITIES	
BACK OF HOUSE / SERV LG	1039 m ²
BACK OF HOUSE / SERV LVL 1	233 m ²
GROUND FLOOR - F&B	325 m ²
GROUND FLOOR- GOLF	429 m ²
LEVEL 1	1393 m ²
LEVEL 2	570 m ²
LEVEL 3	447 m ²
LOWER GROUND	937 m ²
SERVICES CORE-L3	54 m²
	5426 m ²
FACILITIES CARPARK	
FIRST FLOOR CARPARK	1461 m ²
GROUD FLOOR CARPARK	1886 m ²
LOADING BAY	67 m ²
	3413 m ²
HOTEL	
GROUND FLOOR	1095 m ²
LEVEL 1	2334 m ²
LEVEL 2	1659 m ²
LEVEL 3	1921 m ²
LOWER GROUND	1149 m ²
	8157 m ²
HOTEL CARPARK	
HOTEL CARPARK	1352 m ²
LOWER GROUND CARPARK	1515 m²
	2867 m ²

	–	
No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
В	DA SUBMISSION	01.12.21
С	DA - FURTHER INFORMATION_DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISION	29.11.22
E	DA- FURTHER INFORMATION SUBMISION	30.03.23

The drawings are to be viewed with regard to the scale at which the document has been issued and for the specific purpose of the issue. The information contained within is considered to be correct at the time of documentation. As an uncontrolled document, R ARCHITECTURE accepts no responsibility for alterations by persons once issued. By accepting and utilizing any drawings or other data or any form of electronic media generated and provided by R ARCHITECTURE the Client agrees not to use these drawings and data, in whole or in part, for any purpose or project other than the project which is the subject of this agreement. The Client agrees to waive all claims against R ARCHITECTURE resulting in any way or from any unauthorised changes or reuse of the drawings and data for any other project by anyone other than R ARCHITECTURE. In addition, the Client agrees, to the fullest extent permitted by the law, to indemnify and hold R ARCHITECTURE harmless from any changes made by anyone other that R ARCHITECTURE or from any reuse of the drawings and data without prior written consent of R ARCHITECTURE. By accepting and utilizing any drawings or other data on any form of electronic media generated and provided by R ARCHITECTURE, the Client agrees that all such drawings and data are instruments of service of R ARCHITECTURE, who shall be deemed the author of the drawings and data and shall retain all common law, statutory law and other rights, including copyrights and Intellectual property.

PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS

35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1 Scale@A3 Date: 30.03.23

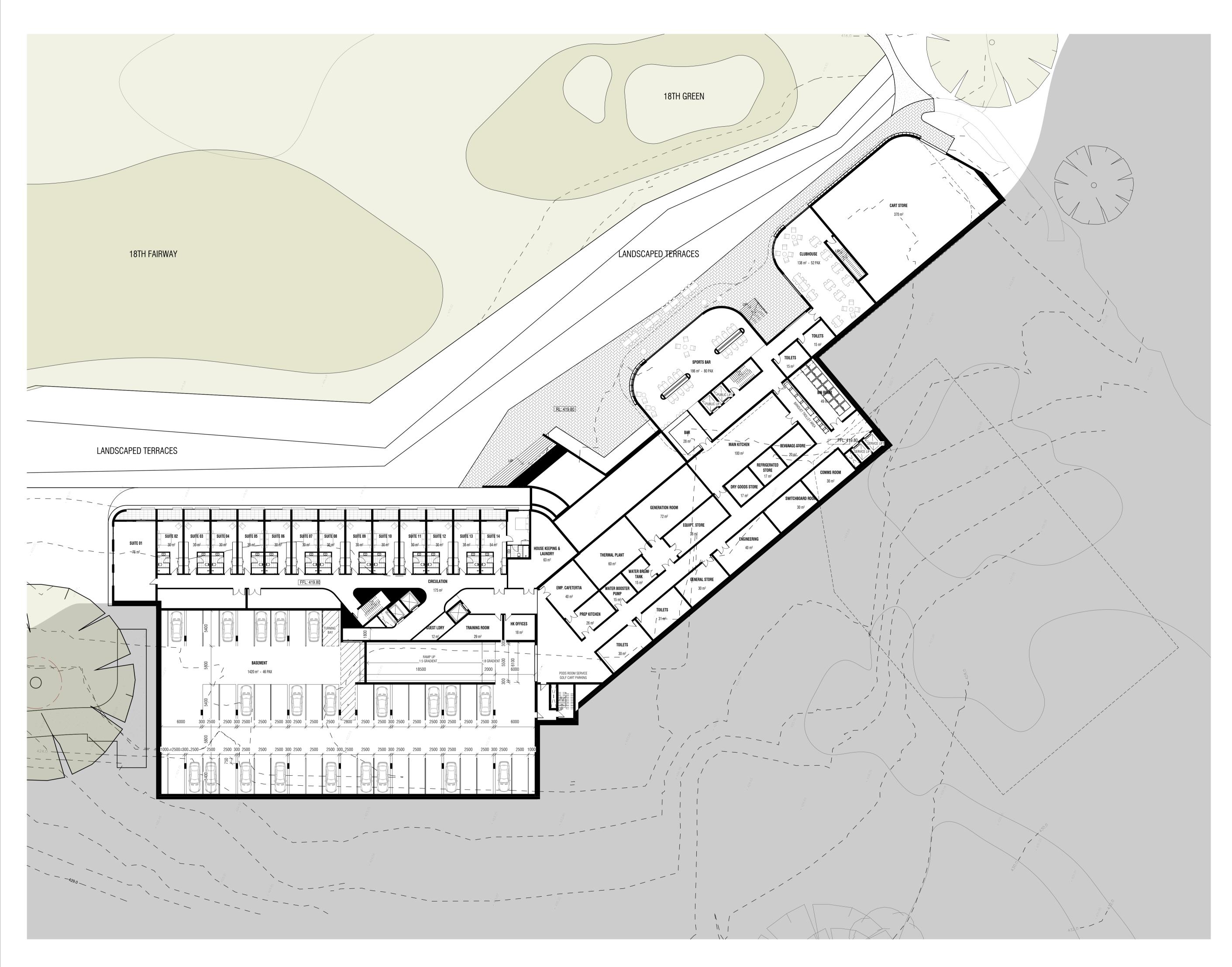
Date: 30.03.2 SHEET NAME

HOTEL MASTERPLAN

SHEET NO. TP01

PRELIMINARY NOT FOR CONSTRUCTION





HOTEL DEVELOPMENT SUMMARY 35 GOLFLINKS RD, STIRLING, SA.	
DEVELOPMENT SITE AREA	
HOTEL	
SUITES	56 SUITES
SERVICED APARTMENT - 2 BED	15 APARTMENTS
SERVICED APARTMENT - 3 BED	15 APARTMENTS
PENTHOUSE APARTMENTS	2 APARTMENTS
TOTAL	88 UNITS
PODS	
TOTAL	17 UNITS - 1 BEDROOM
PARKING	
CAR SPACES - MAIN BUILDING	200 SPACES
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES

AREA

AREA TYPE

FACILITIES	
BACK OF HOUSE / SERV LG	1039 m ²
BACK OF HOUSE / SERV LVL 1	233 m ²
GROUND FLOOR - F&B	325 m ²
GROUND FLOOR- GOLF	429 m ²
LEVEL 1	1393 m ²
LEVEL 2	570 m ²
LEVEL 3	447 m ²
LOWER GROUND	937 m ²
SERVICES CORE-L3	54 m ²
	5426 m ²
FACILITIES CARPARK	
FIRST FLOOR CARPARK	1461 m ²
GROUD FLOOR CARPARK	1886 m ²
LOADING BAY	67 m ²
	3413 m ²
HOTEL	
GROUND FLOOR	1095 m ²
LEVEL 1	2334 m ²
LEVEL 2	1659 m ²
LEVEL 3	1921 m ²
LOWER GROUND	1149 m ²
	8157 m ²
HOTEL CARPARK	
HOTEL CARPARK	1352 m ²
LOWER GROUND CARPARK	1515 m ²
	2867 m ²
Grand total: 19	19864 m ²

No.	Description	Date
А	CONSULTANT REVIEW	20.10.21
В	DA SUBMISSION	01.12.21
С	DA - FURTHER INFORMATION_DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISION	29.11.22
E	DA- FURTHER INFORMATION SUBMISION	30.03.23

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The drawings are to be viewed with regard to the scale at which the document has

PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152

 Scale@A1

 Scale@A3

 Date:
 30.03.23

SHEET NAME

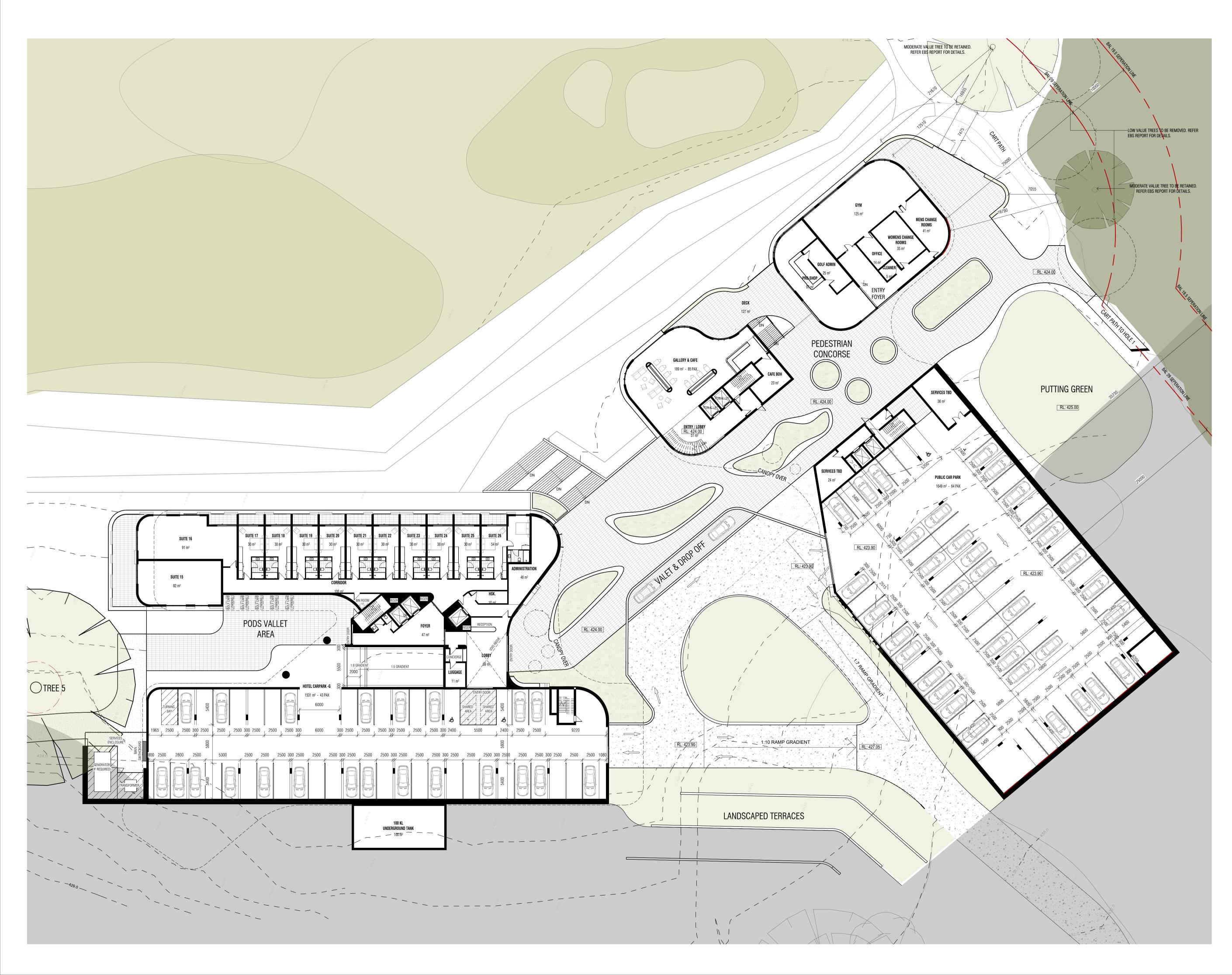
REVISION:

F

LOWER GROUND FLOOR PLAN

SHEET NO. TP02





DEVELOPMENT SITE AREA	
HOTEL	
SUITES	56 SUITES
SERVICED APARTMENT - 2 BED	15 APARTMENTS
SERVICED APARTMENT - 3 BED	15 APARTMENTS
PENTHOUSE APARTMENTS	2 APARTMENTS
TOTAL	88 UNITS
PODS	
TOTAL	17 UNITS - 1 BEDROOM
PARKING	
CAR SPACES - MAIN BUILDING	200 SPACES
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES

AREA

AREA TYPE

	1039 m ²
BACK OF HOUSE / SERV LG	
BACK OF HOUSE / SERV LVL 1	233 m ²
GROUND FLOOR - F&B	325 m ²
GROUND FLOOR- GOLF	429 m ²
LEVEL 1	1393 m ²
LEVEL 2	570 m ²
LEVEL 3	447 m ²
LOWER GROUND	937 m ²
SERVICES CORE-L3	54 m ²
	5426 m ²
FACILITIES CARPARK	
FIRST FLOOR CARPARK	1461 m ²
GROUD FLOOR CARPARK	1886 m ²
LOADING BAY	67 m ²
	3413 m ²
HOTEL	
GROUND FLOOR	1095 m ²
LEVEL 1	2334 m ²
LEVEL 2	1659 m ²
LEVEL 3	1921 m ²
LOWER GROUND	1149 m ²
	8157 m ²
HOTEL CARPARK	
HOTEL CARPARK	1352 m ²
LOWER GROUND CARPARK	1515 m ²
	2867 m ²
Grand total: 19	19864 m ²

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PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152 Scale@A1 Scale@A3 Date: 30.03.23



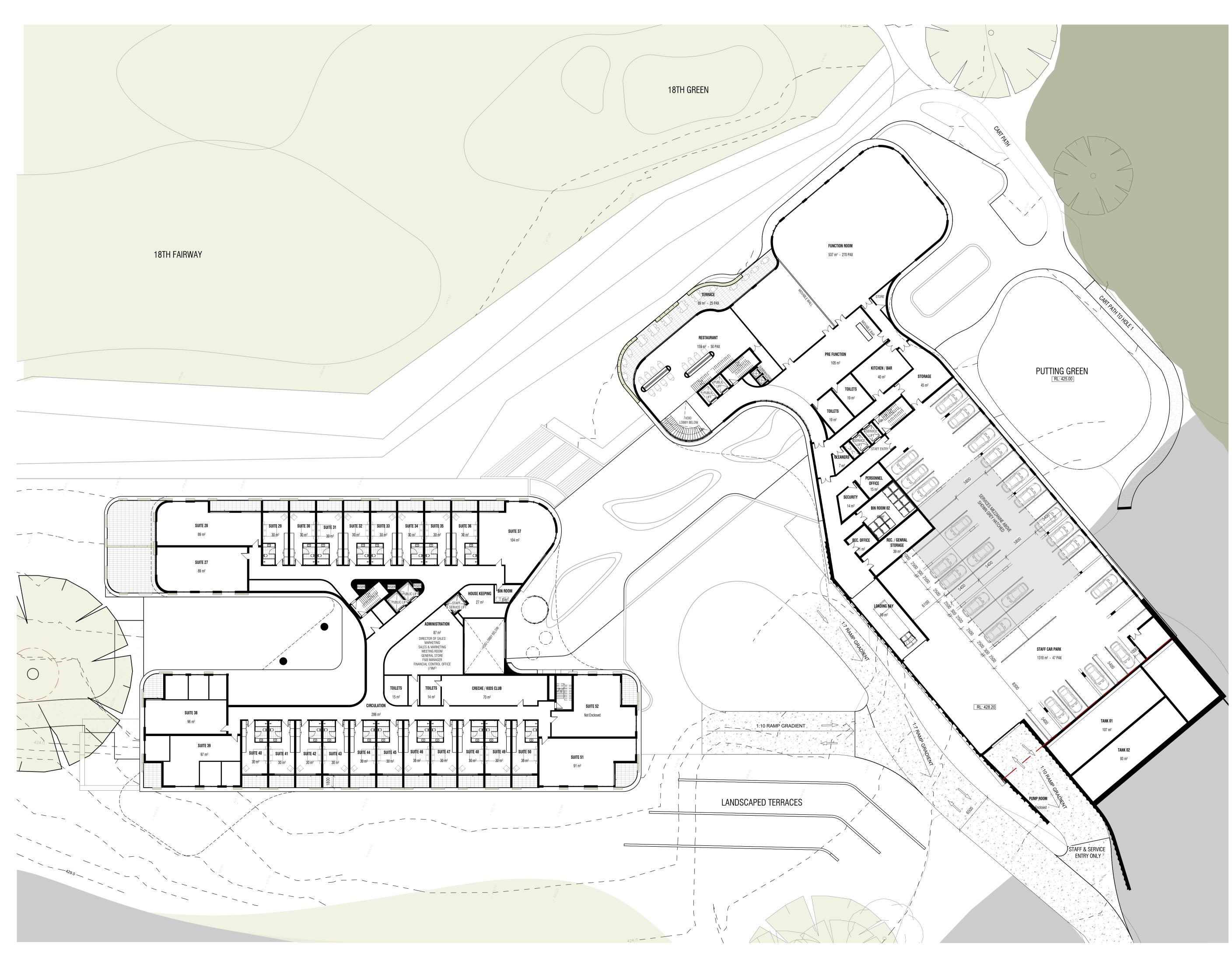
REVISION:

F

SHEET NAME GROUND FLOOR PLAN

SHEET NO. TP03





HOTEL DEVELOPMENT SUMMARY 35 GOLFLINKS RD, STIRLING, SA.	
56 SUITES	
15 APARTMENTS	
15 APARTMENTS	
2 APARTMENTS	
88 UNITS	
1	
17 UNITS - 1 BEDROOM	
200 SPACES	
20 SPACES	

AREA

AREA TYPE

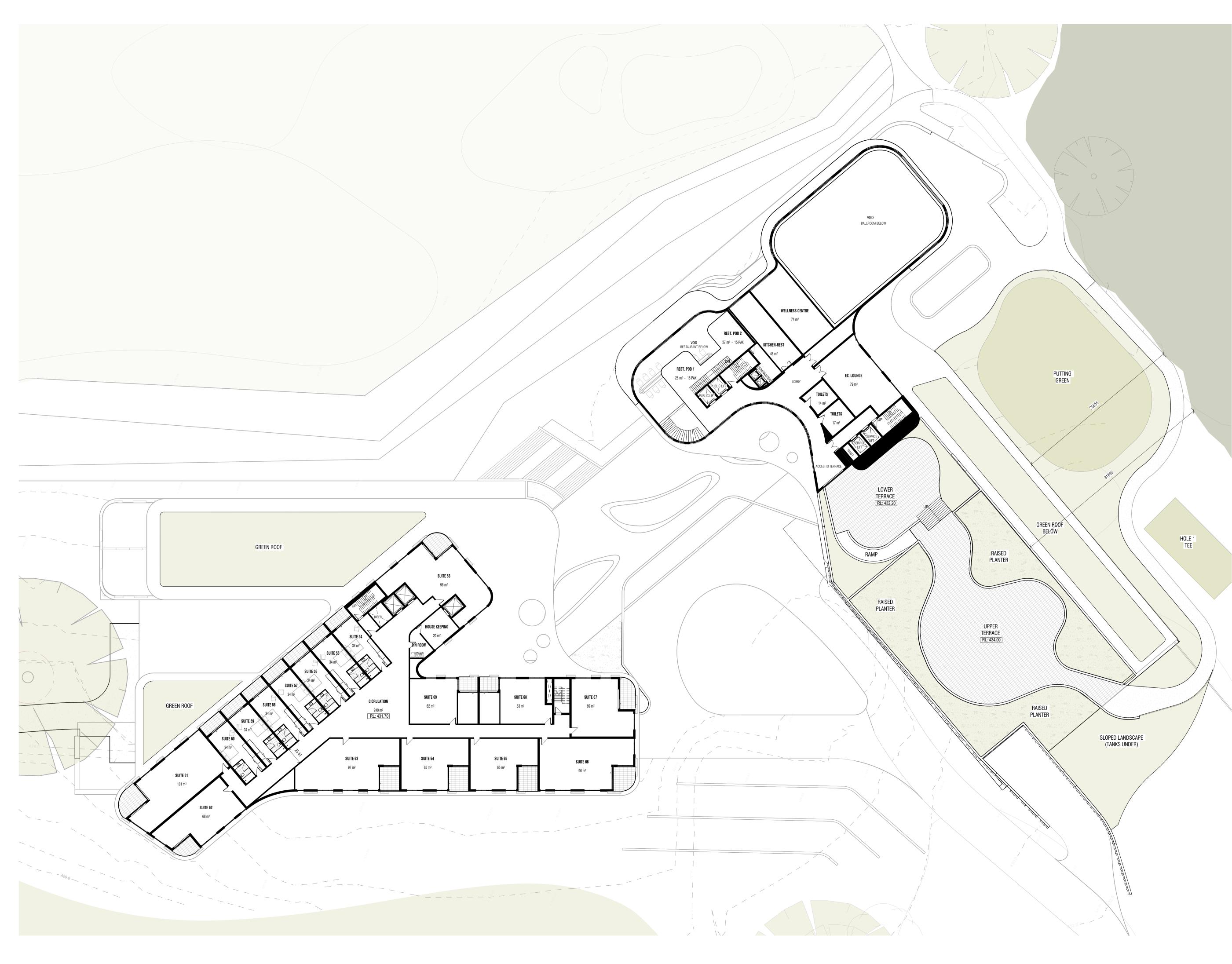
BACK OF HOUSE / SERV LG	1039 m ²
BACK OF HOUSE / SERV LVL 1	233 m ²
GROUND FLOOR - F&B	325 m ²
GROUND FLOOR- GOLF	429 m ²
LEVEL 1	1393 m ²
LEVEL 2	570 m ²
LEVEL 3	447 m ²
LOWER GROUND	937 m ²
SERVICES CORE-L3	54 m ²
	5426 m ²
FACILITIES CARPARK	
FIRST FLOOR CARPARK	1461 m ²
GROUD FLOOR CARPARK	1886 m ²
LOADING BAY	67 m ²
	3413 m ²
HOTEL	
GROUND FLOOR	1095 m ²
LEVEL 1	2334 m ²
LEVEL 2	1659 m ²
LEVEL 3	1921 m ²
LOWER GROUND	1149 m ²
	8157 m ²
HOTEL CARPARK	
HOTEL CARPARK	1352 m ²
LOWER GROUND CARPARK	1515 m ²
	2867 m ²
Grand total: 19	19864 m ²

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PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152 Scale@A1 Scale@A3 Date: 30.03.23 SHEET NAME LEVEL 1 PLAN SHEET NO. TPO4 E





HOTEL DEVELOPMENT SUMMARY 35 GOLFLINKS RD, STIRLING, SA.	
DEVELOPMENT SITE AREA	
HOTEL	
SUITES	56 SUITES
SERVICED APARTMENT - 2 BED	15 APARTMENTS
SERVICED APARTMENT - 3 BED	15 APARTMENTS
PENTHOUSE APARTMENTS	2 APARTMENTS
TOTAL	88 UNITS
PODS	
TOTAL	17 UNITS - 1 BEDROOM
PARKING	
CAR SPACES - MAIN BUILDING	200 SPACES
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES

AREA

AREA TYPE

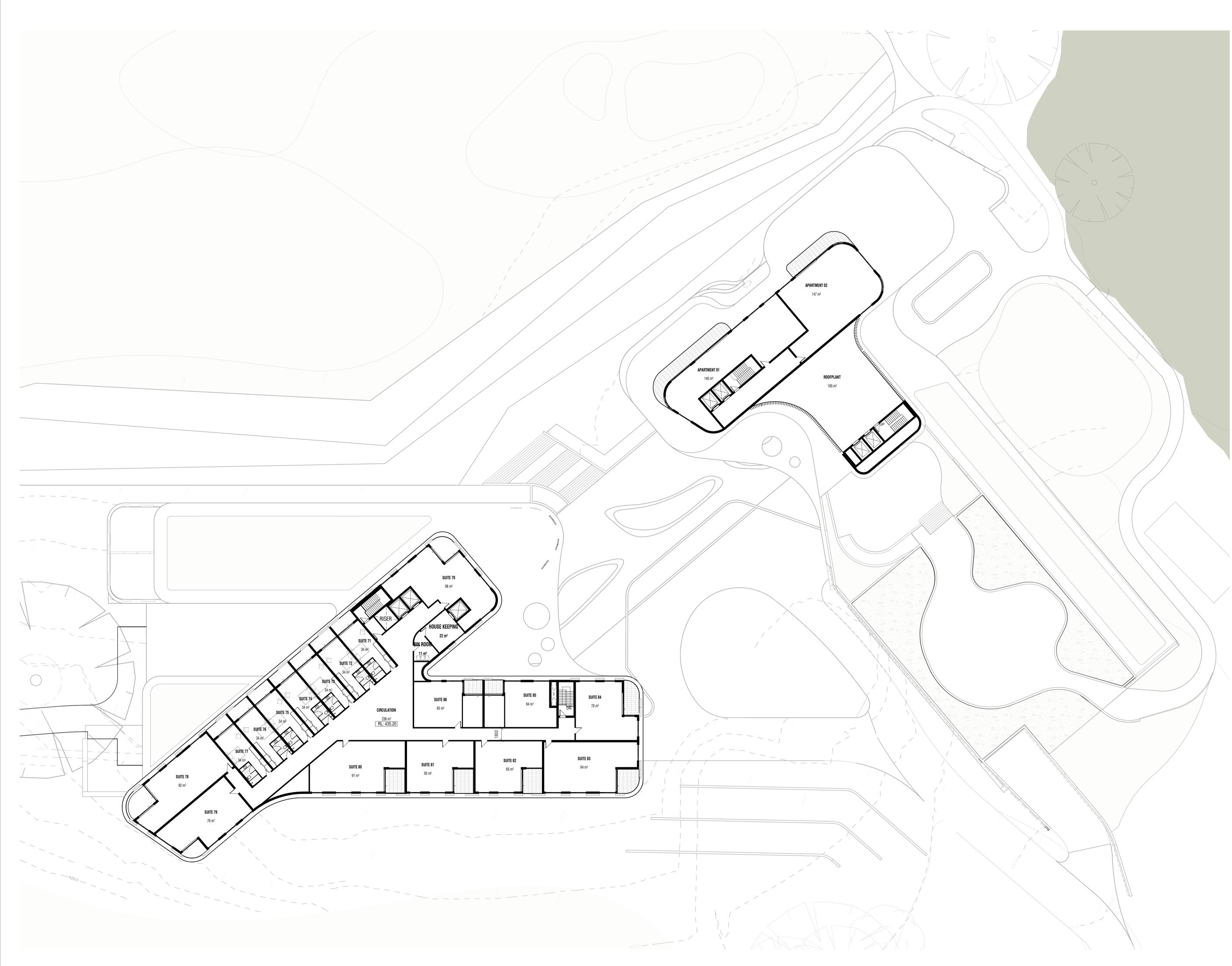
FACILITIES	
BACK OF HOUSE / SERV LG	1039 m ²
BACK OF HOUSE / SERV LVL 1	233 m ²
GROUND FLOOR - F&B	325 m ²
GROUND FLOOR- GOLF	429 m ²
LEVEL 1	1393 m ²
LEVEL 2	570 m ²
LEVEL 3	447 m ²
LOWER GROUND	937 m ²
SERVICES CORE-L3	54 m²
	5426 m ²
FACILITIES CARPARK	
FIRST FLOOR CARPARK	1461 m ²
GROUD FLOOR CARPARK	1886 m ²
LOADING BAY	67 m ²
	3413 m ²
HOTEL	
GROUND FLOOR	1095 m ²
LEVEL 1	2334 m ²
LEVEL 2	1659 m ²
LEVEL 3	1921 m ²
LOWER GROUND	1149 m ²
	8157 m ²
HOTEL CARPARK	
HOTEL CARPARK	1352 m ²
LOWER GROUND CARPARK	1515 m²
	2867 m ²
Grand total: 19	19864 m ²

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
В	DA SUBMISSION	01.12.21
С	DA - FURTHER INFORMATION_DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISION	29.11.22
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PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF L	- .INKS ROAD, STIRLIN	G SA 5152
Scale@A1		
Scale@A3		
Date:	30.03.23	
SHEET NAME		
LEVEL 2	PLAN	
SHEET NO.		REVISION:
	TP05	E
PRELIMINARY NOT FOR CONSTRUCTION		



HOTEL DEVELOPMENT SUMMARY 35 GOLFLINKS RD, STIRLING, SA.		
DEVELOPMENT SITE AREA		
HOTEL		
SUITES	56 SUITES	
SERVICED APARTMENT - 2 BED	15 APARTMENTS	
SERVICED APARTMENT - 3 BED	15 APARTMENTS	
PENTHOUSE APARTMENTS	2 APARTMENTS	
TOTAL	88 UNITS	
PODS		
TOTAL	17 UNITS - 1 BEDROOM	
PARKING		
CAR SPACES - MAIN BUILDING	200 SPACES	
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES	

AREA

AREA TYPE

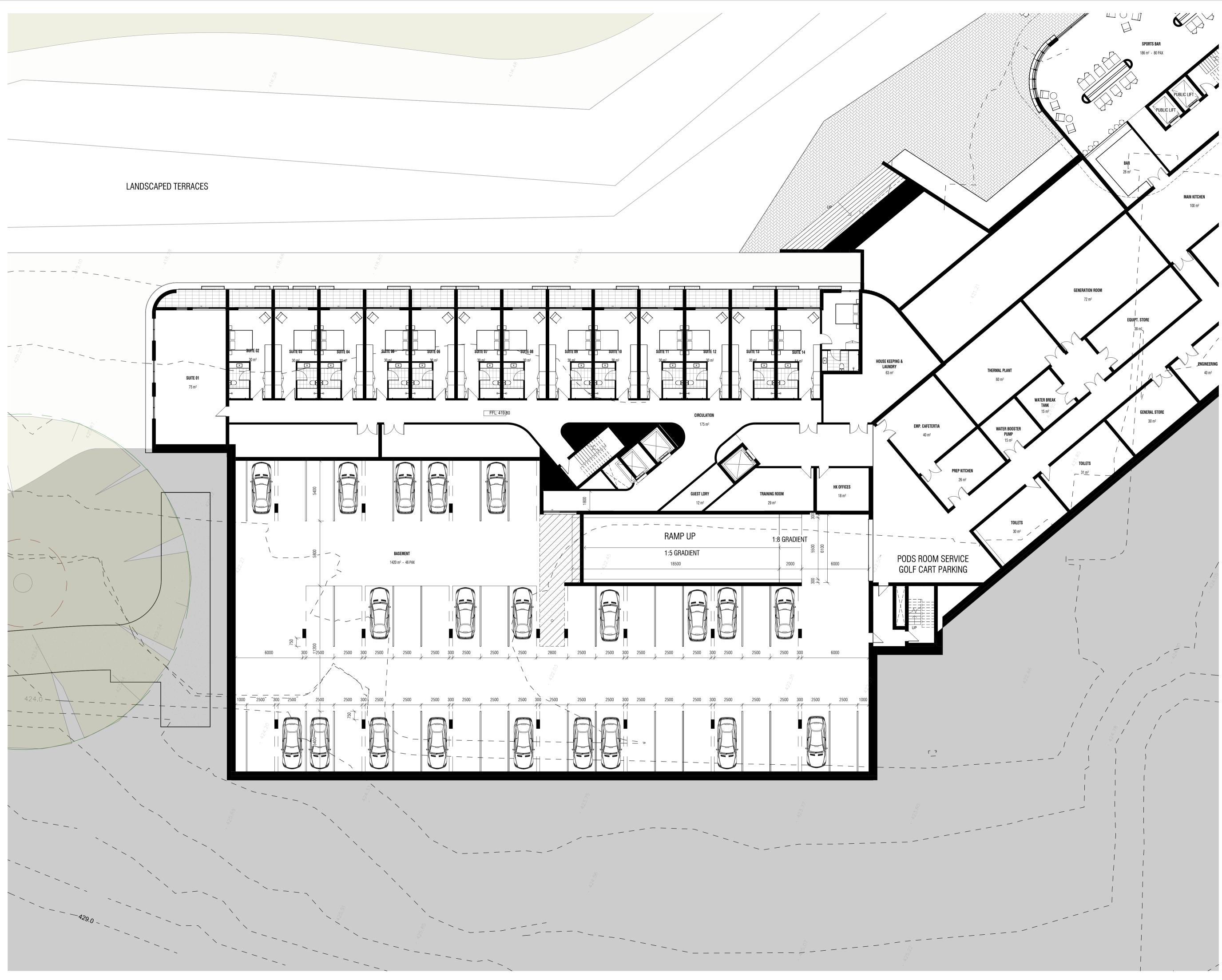
BACK OF HOUSE / SERV LG	1039 m ²
BACK OF HOUSE / SERV LVL 1	233 m ²
GROUND FLOOR - F&B	325 m ²
GROUND FLOOR- GOLF	429 m ²
LEVEL 1	1393 m ²
LEVEL 2	570 m ²
LEVEL 3	447 m ²
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	5426 m ²
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GROUD FLOOR CARPARK	1886 m ²
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HOTEL	
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LEVEL 3	1921 m ²
LOWER GROUND	1149 m ²
	8157 m ²
HOTEL CARPARK	
HOTEL CARPARK	1352 m ²
LOWER GROUND CARPARK	1515 m ²
	2867 m ²
Grand total: 19	19864 m ²

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PROJECT MOUNT LOFT GOLF ESTATE

_____ ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152 Scale@A1 \mathbf{N} Scale@A3 Date: 30.03.23 \checkmark SHEET NAME LEVEL 3 PLAN SHEET NO. REVISION: TP06 F *PRELIMINARY NOT FOR CONSTRUCTION*





35 GOLFLINKS RD, STIRLING, SA.		
DEVELOPMENT SITE AREA		
HOTEL		
SUITES	56 SUITES	
SERVICED APARTMENT - 2 BED	15 APARTMENTS	
SERVICED APARTMENT - 3 BED	15 APARTMENTS	
PENTHOUSE APARTMENTS	2 APARTMENTS	
TOTAL	88 UNITS	
PODS		
TOTAL	17 UNITS - 1 BEDROOM	
PARKING		
CAR SPACES - MAIN BUILDING	200 SPACES	
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES	

AREA

AREA TYPE

BACK OF HOUSE / SERV LG	1039 m ²
BACK OF HOUSE / SERV LVL 1	233 m ²
GROUND FLOOR - F&B	325 m ²
GROUND FLOOR- GOLF	429 m ²
LEVEL 1	1393 m ²
LEVEL 2	570 m ²
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	5426 m ²
FACILITIES CARPARK	
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GROUD FLOOR CARPARK	1886 m ²
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	3413 m ²
HOTEL	
GROUND FLOOR	1095 m ²
LEVEL 1	2334 m ²
LEVEL 2	1659 m ²
LEVEL 3	1921 m ²
LOWER GROUND	1149 m ²
	8157 m ²
HOTEL CARPARK	
HOTEL CARPARK	1352 m ²
LOWER GROUND CARPARK	1515 m ²
	2867 m ²
Grand total: 19	19864 m ²

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
В	DA SUBMISSION	01.12.21
С	DA - FURTHER INFORMATION_DRAFT	08.09.22
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PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152 Scale@A1

Scale@A3 Date: 30.03.23

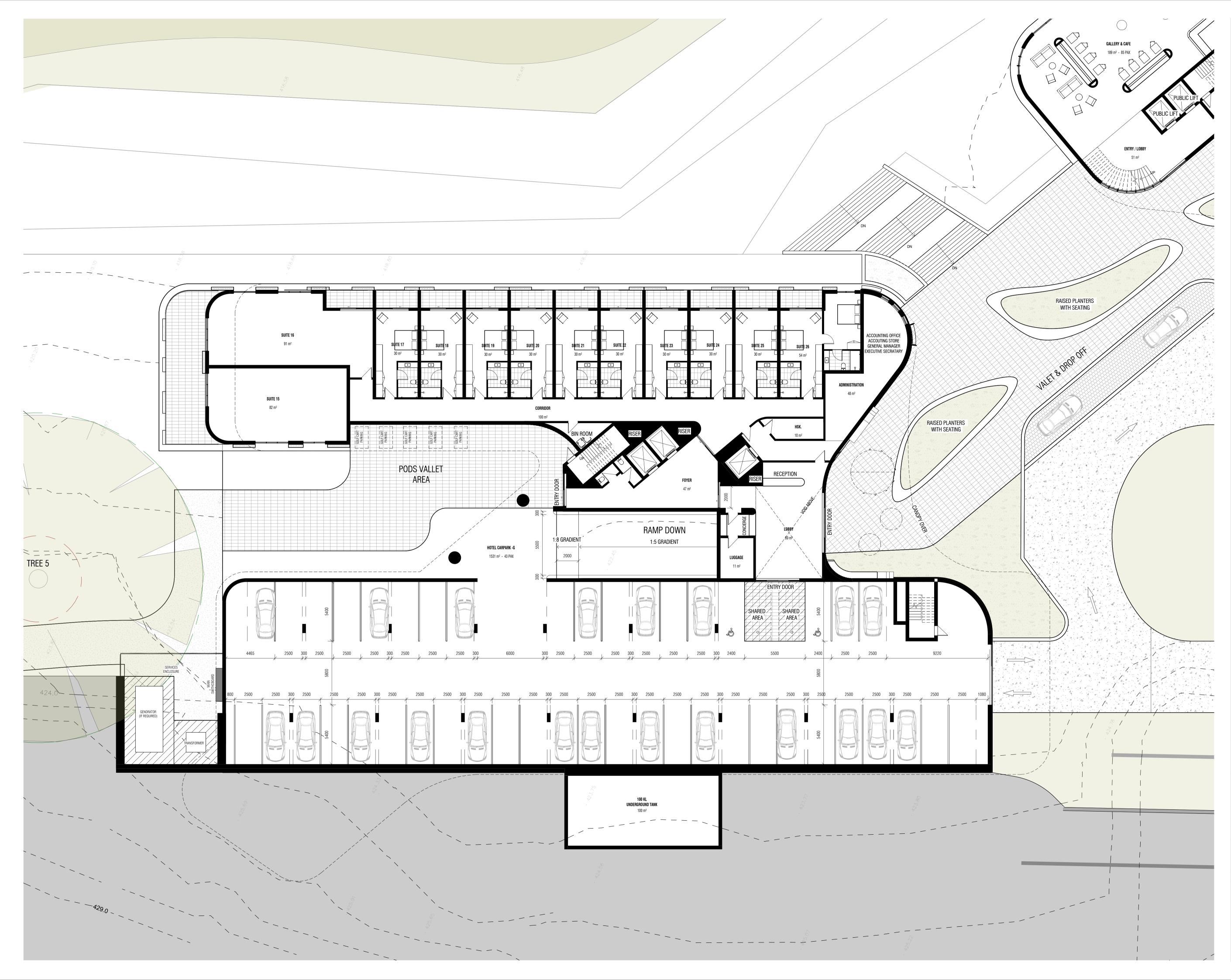
SHEET NAME HOTEL_LOWER GROUND FLOOR PLAN



PRELIMINARY NOT FOR CONSTRUCTION



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35 GOLFLINKS RD, STIRLING, SA.		
DEVELOPMENT SITE AREA		
HOTEL		
SUITES	56 SUITES	
SERVICED APARTMENT - 2 BED	15 APARTMENTS	
Serviced Apartment - 3 bed	15 APARTMENTS	
PENTHOUSE APARTMENTS	2 APARTMENTS	
TOTAL	88 UNITS	
PODS		
TOTAL	17 UNITS - 1 BEDROOM	
PARKING		
CAR SPACES - MAIN BUILDING	200 SPACES	
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES	

AREA

AREA TYPE

FACILITIES	
BACK OF HOUSE / SERV LG	1039 m ²
BACK OF HOUSE / SERV LVL 1	233 m ²
GROUND FLOOR - F&B	325 m ²
GROUND FLOOR- GOLF	429 m ²
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LEVEL 3	447 m ²
LOWER GROUND	937 m ²
SERVICES CORE-L3	54 m ²
	5426 m ²
FACILITIES CARPARK	
FIRST FLOOR CARPARK	1461 m ²
GROUD FLOOR CARPARK	1886 m ²
LOADING BAY	67 m ²
	3413 m ²
HOTEL	
GROUND FLOOR	1095 m ²
LEVEL 1	2334 m ²
LEVEL 2	1659 m ²
LEVEL 3	1921 m ²
LOWER GROUND	1149 m ²
	8157 m ²
HOTEL CARPARK	
HOTEL CARPARK	1352 m ²
LOWER GROUND CARPARK	1515 m ²
	2867 m ²
Grand total: 19	19864 m²

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
В	DA SUBMISSION	01.12.21
С	DA - FURTHER INFORMATION_DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISION	29.11.22
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PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152 Scale@A1 Scale@A3 Date: 30.03.23

SHEET NAME HOTEL_GROUND FLOOR PLAN

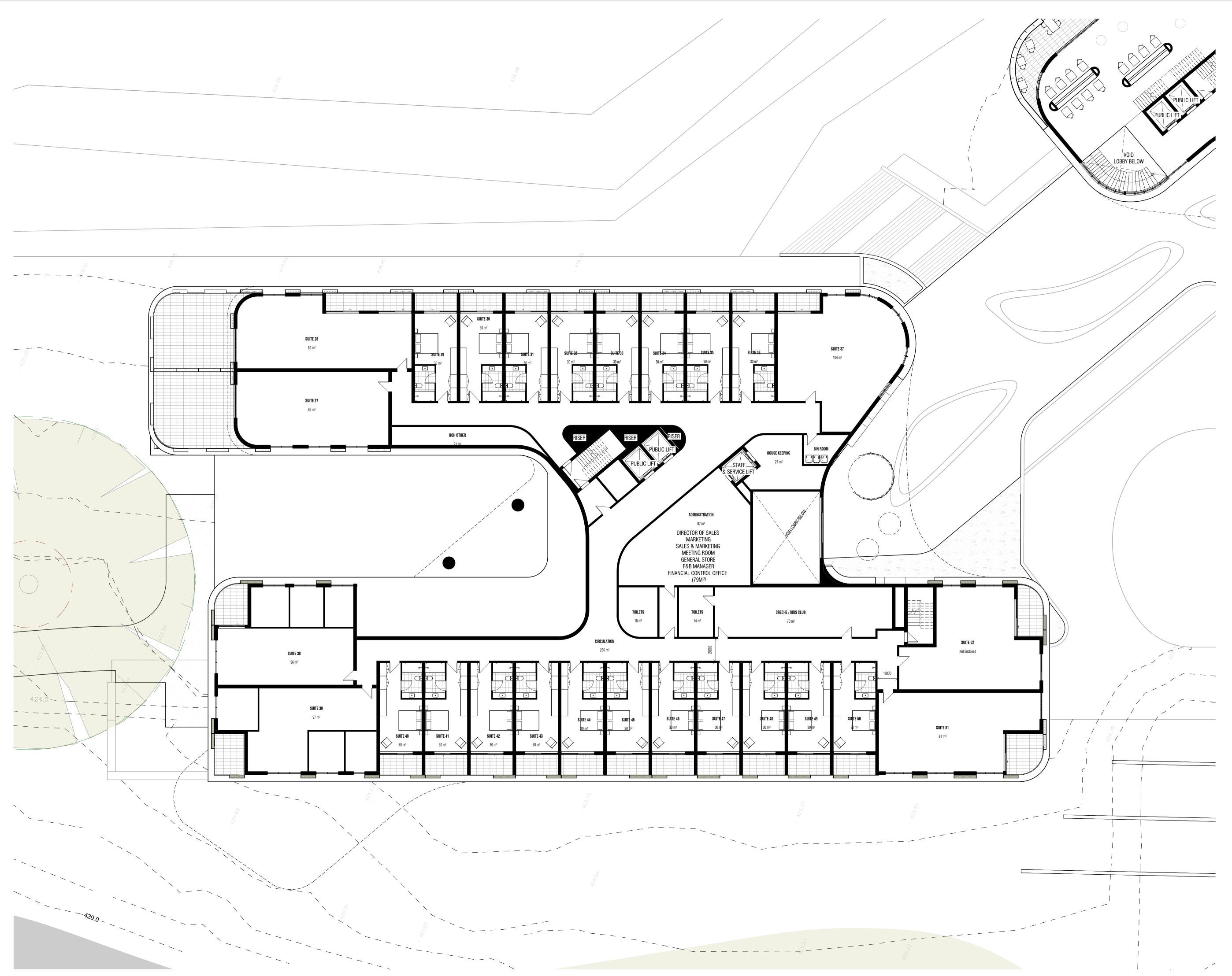


PRELIMINARY NOT FOR CONSTRUCTION



REVISION:

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HOTEL DEVELOPMENT SUMMARY 35 GOLFLINKS RD, STIRLING, SA.		
DEVELOPMENT SITE AREA		
HOTEL		
SUITES	56 SUITES	
SERVICED APARTMENT - 2 BED	15 APARTMENTS	
SERVICED APARTMENT - 3 BED	15 APARTMENTS	
PENTHOUSE APARTMENTS	2 APARTMENTS	
TOTAL	88 UNITS	
PODS		
TOTAL	17 UNITS - 1 BEDROOM	
PARKING		
CAR SPACES - MAIN BUILDING	200 SPACES	
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES	

AREA

AREA TYPE

FACILITIES	
BACK OF HOUSE / SERV LG	1039 m ²
BACK OF HOUSE / SERV LVL 1	233 m ²
GROUND FLOOR - F&B	325 m ²
GROUND FLOOR- GOLF	429 m ²
LEVEL 1	1393 m ²
LEVEL 2	570 m ²
LEVEL 3	447 m ²
LOWER GROUND	937 m ²
SERVICES CORE-L3	54 m ²
	5426 m ²
FACILITIES CARPARK	
FIRST FLOOR CARPARK	1461 m ²
GROUD FLOOR CARPARK	1886 m ²
LOADING BAY	67 m ²
	3413 m ²
HOTEL	
GROUND FLOOR	1095 m ²
LEVEL 1	2334 m ²
LEVEL 2	1659 m ²
LEVEL 3	1921 m ²
LOWER GROUND	1149 m ²
	8157 m ²
HOTEL CARPARK	
HOTEL CARPARK	1352 m ²
LOWER GROUND CARPARK	1515 m ²
	2867 m ²
Grand total: 19	19864 m ²

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
В	DA SUBMISSION	01.12.21
С	DA - FURTHER INFORMATION_DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISION	29.11.22
E	DA- FURTHER INFORMATION SUBMISION	30.03.23

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PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1 Scale@A3 Date: 30.03.23

30.03.23

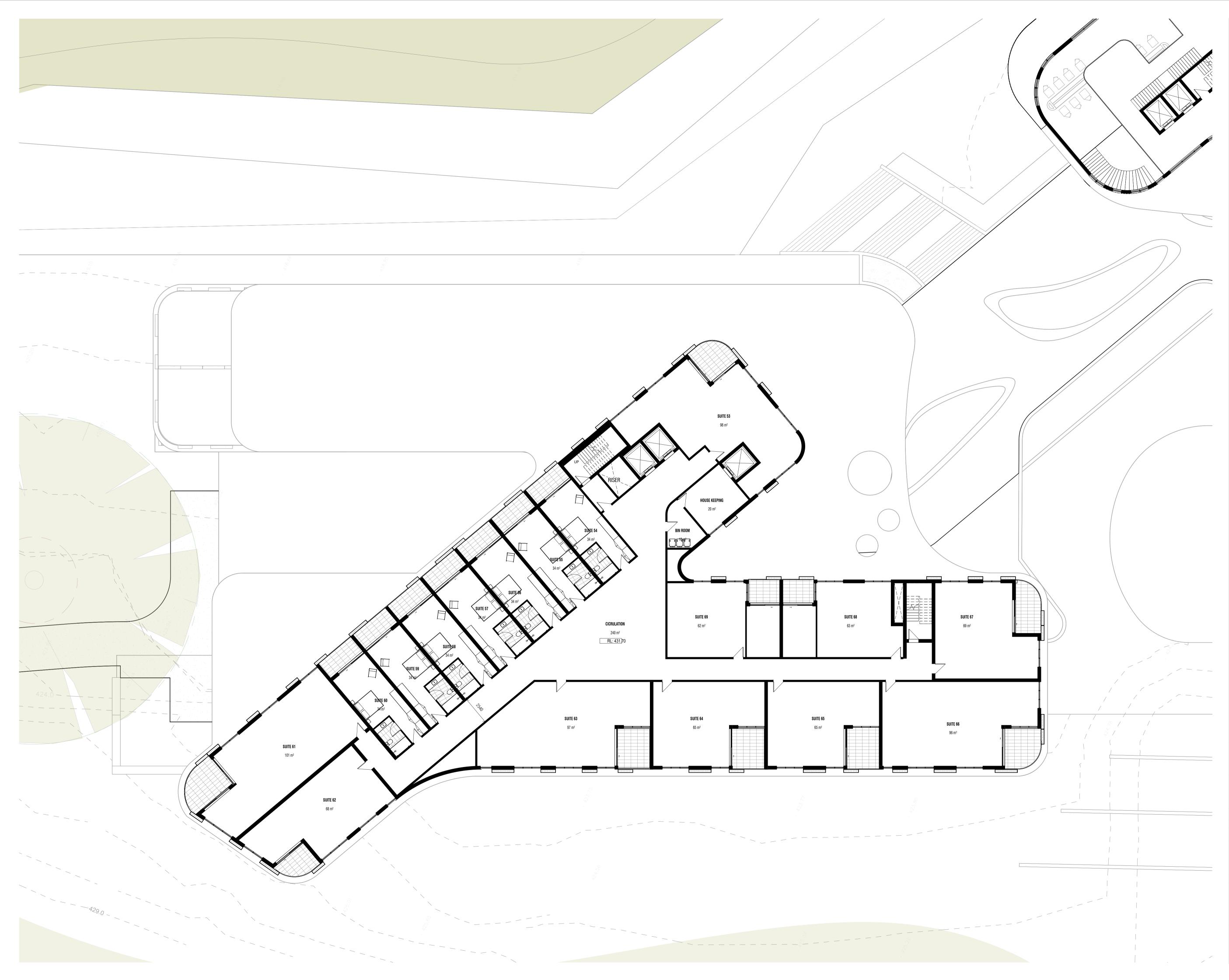
REVISION:

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SHEET NAME HOTEL_LEVEL 1 PLAN

SHEET NO. TP09





35 GOLFLINKS RD, STIRLING, SA.		
DEVELOPMENT SITE AREA		
HOTEL		
SUITES	56 SUITES	
SERVICED APARTMENT - 2 BED	15 APARTMENTS	
SERVICED APARTMENT - 3 BED	15 APARTMENTS	
PENTHOUSE APARTMENTS	2 APARTMENTS	
TOTAL	88 UNITS	
PODS		
TOTAL	17 UNITS - 1 BEDROOM	
PARKING		
CAR SPACES - MAIN BUILDING	200 SPACES	
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES	

AREA

AREA TYPE

BACK OF HOUSE / SERV LG	1039 m ²
BACK OF HOUSE / SERV LVL 1	233 m ²
GROUND FLOOR - F&B	325 m ²
GROUND FLOOR- GOLF	429 m ²
LEVEL 1	1393 m ²
LEVEL 2	570 m ²
LEVEL 3	447 m ²
LOWER GROUND	937 m ²
SERVICES CORE-L3	54 m ²
	5426 m ²
FACILITIES CARPARK	
FIRST FLOOR CARPARK	1461 m ²
GROUD FLOOR CARPARK	1886 m ²
LOADING BAY	67 m ²
	3413 m ²
HOTEL	
GROUND FLOOR	1095 m ²
LEVEL 1	2334 m ²
LEVEL 2	1659 m ²
LEVEL 3	1921 m ²
LOWER GROUND	1149 m ²
	8157 m ²
HOTEL CARPARK	
HOTEL CARPARK	1352 m ²
LOWER GROUND CARPARK	1515 m ²
	2867 m ²
Grand total: 19	19864 m ²

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
В	DA SUBMISSION	01.12.21
С	DA - FURTHER INFORMATION_DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISION	29.11.22
E	DA- FURTHER INFORMATION SUBMISION	30.03.23

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PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152

 Scale@A1

 Scale@A3

 Date:
 30.03.23

SHEET NAME HOTEL_LEVEL 2 PLAN

SHEET NO. TP10

PRELIMINARY NOT FOR CONSTRUCTION

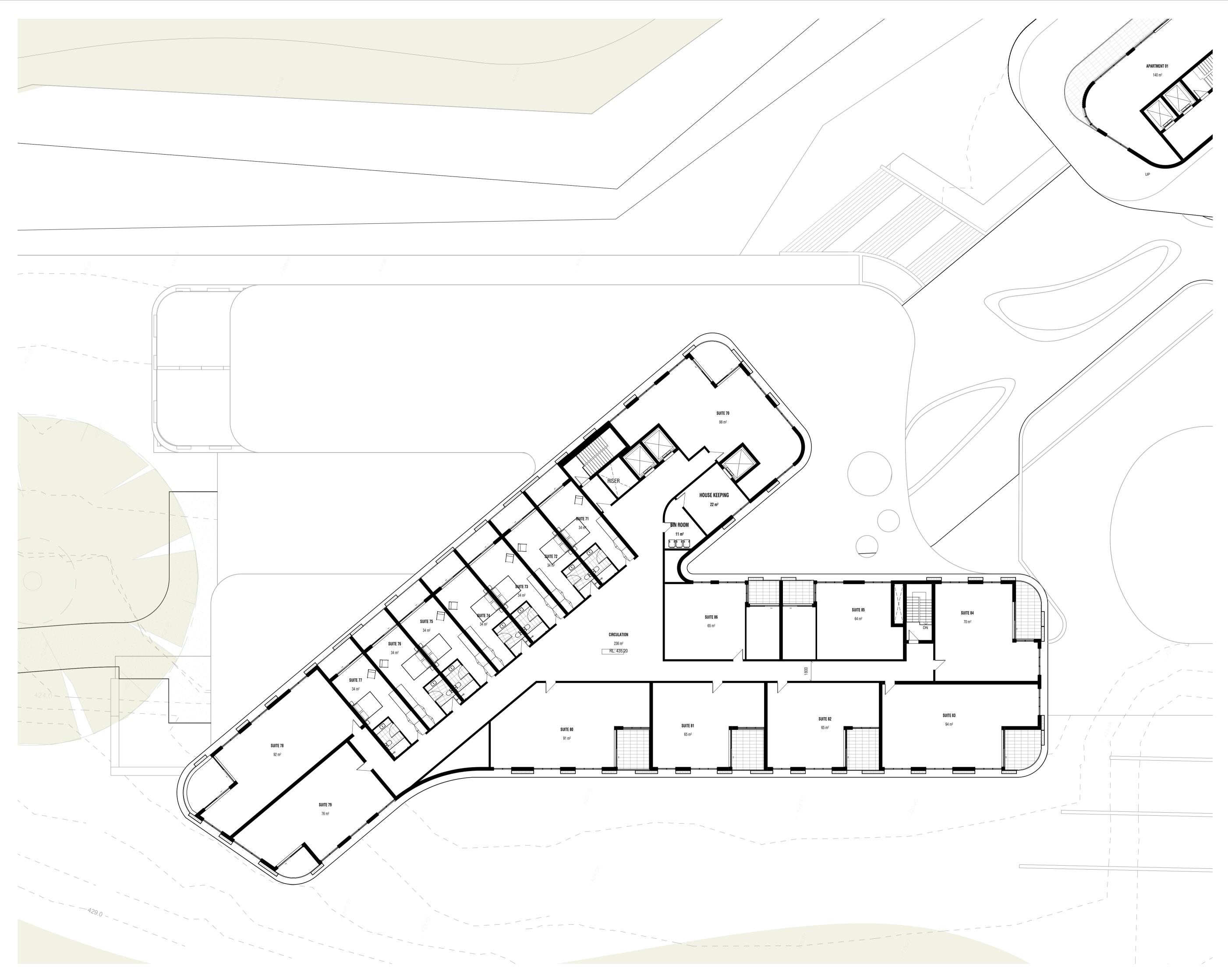


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REVISION:

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35 GOLFLINKS RD, STIRLING, SA.		
DEVELOPMENT SITE AREA		
HOTEL		
SUITES	56 SUITES	
SERVICED APARTMENT - 2 BED	15 APARTMENTS	
SERVICED APARTMENT - 3 BED	15 APARTMENTS	
PENTHOUSE APARTMENTS	2 APARTMENTS	
TOTAL	88 UNITS	
PODS		
TOTAL	17 UNITS - 1 BEDROOM	
PARKING		
CAR SPACES - MAIN BUILDING	200 SPACES	
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES	

AREA

AREA TYPE

BACK OF HOUSE / SERV LG	1039 m ²
BACK OF HOUSE / SERV LVL 1	233 m ²
GROUND FLOOR - F&B	325 m ²
GROUND FLOOR- GOLF	429 m ²
LEVEL 1	1393 m ²
LEVEL 2	570 m ²
LEVEL 3	447 m ²
LOWER GROUND	937 m ²
SERVICES CORE-L3	54 m ²
	5426 m ²
FACILITIES CARPARK	
FIRST FLOOR CARPARK	1461 m ²
GROUD FLOOR CARPARK	1886 m ²
LOADING BAY	67 m ²
	3413 m ²
HOTEL	
GROUND FLOOR	1095 m ²
LEVEL 1	2334 m ²
LEVEL 2	1659 m ²
LEVEL 3	1921 m ²
LOWER GROUND	1149 m ²
	8157 m ²
HOTEL CARPARK	
HOTEL CARPARK	1352 m ²
LOWER GROUND CARPARK	1515 m ²
	2867 m ²
Grand total: 19	19864 m ²

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
В	DA SUBMISSION	01.12.21
С	DA - FURTHER INFORMATION DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISION	29.11.22
E	DA- FURTHER INFORMATION SUBMISION	30.03.23

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MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152

 Scale@A1

 Scale@A3

 Date:
 30.03.23

SHEET NAME HOTEL_LEVEL 3 PLAN

SHEET NO.

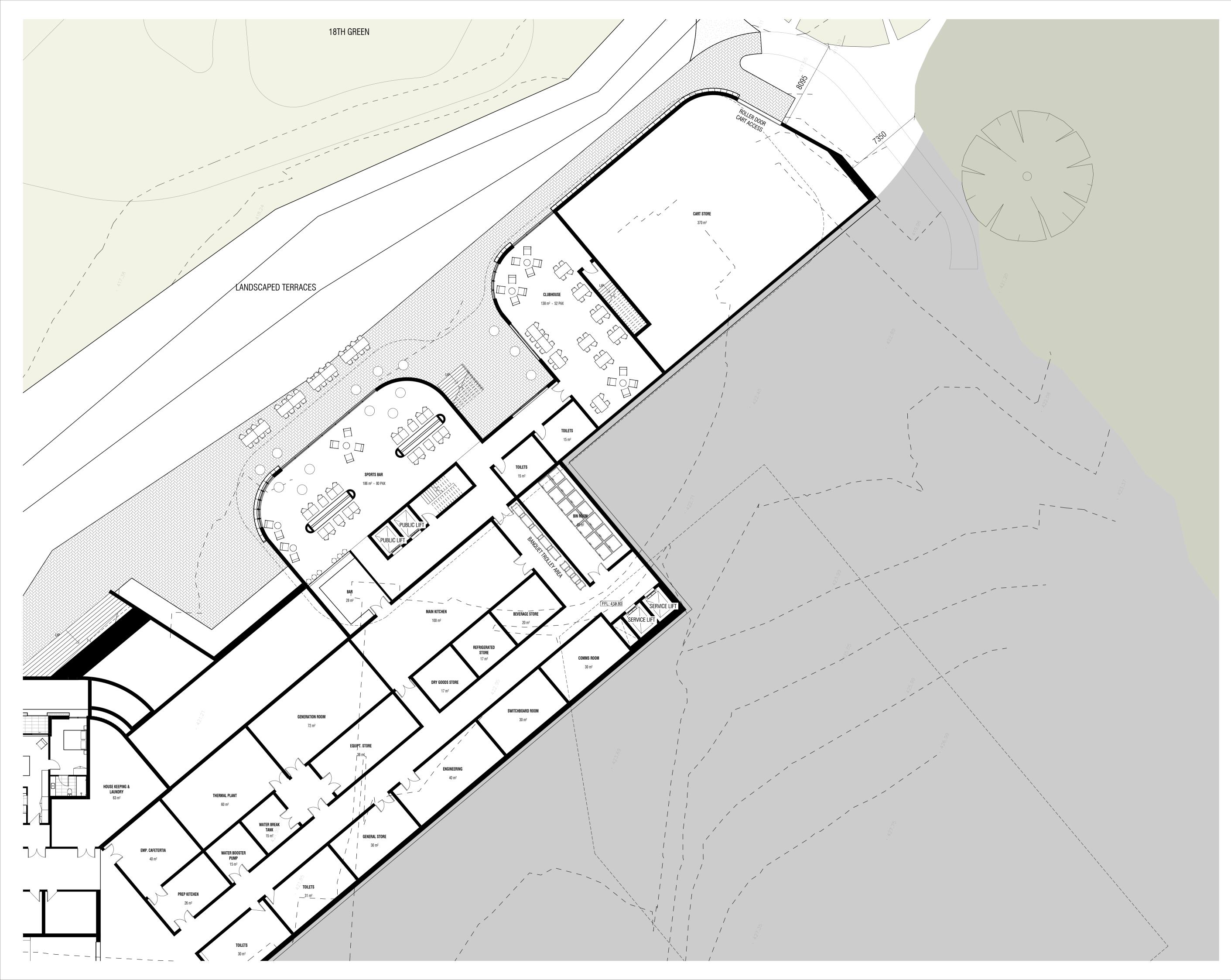
TP11

REVISION:

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HOTEL DEVELOPMENT SUMMARY 35 GOLFLINKS RD, STIRLING, SA.		
DEVELOPMENT SITE AREA		
HOTEL		
SUITES	56 SUITES	
SERVICED APARTMENT - 2 BED	15 APARTMENTS	
SERVICED APARTMENT - 3 BED	15 APARTMENTS	
PENTHOUSE APARTMENTS	2 APARTMENTS	
TOTAL	88 UNITS	
PODS		
TOTAL	17 UNITS - 1 BEDROOM	
PARKING		
CAR SPACES - MAIN BUILDING	200 SPACES	
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES	

AREA

AREA TYPE

FACILITIES	
BACK OF HOUSE / SERV LG	1039 m ²
BACK OF HOUSE / SERV LVL 1	233 m ²
GROUND FLOOR - F&B	325 m ²
GROUND FLOOR- GOLF	429 m ²
LEVEL 1	1393 m ²
LEVEL 2	570 m ²
LEVEL 3	447 m ²
LOWER GROUND	937 m ²
SERVICES CORE-L3	54 m ²
	5426 m ²
FACILITIES CARPARK	
FIRST FLOOR CARPARK	1461 m ²
GROUD FLOOR CARPARK	1886 m ²
LOADING BAY	67 m ²
	3413 m ²
HOTEL	
GROUND FLOOR	1095 m ²
LEVEL 1	2334 m ²
LEVEL 2	1659 m ²
LEVEL 3	1921 m ²
LOWER GROUND	1149 m ²
	8157 m ²
HOTEL CARPARK	
HOTEL CARPARK	1352 m ²
LOWER GROUND CARPARK	1515 m ²
	2867 m ²
Grand total: 19	19864 m ²

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PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS **35 GOLF LINKS ROAD, STIRLING SA 5152** Scale@A1 1:75 Scale@A3 1:150

Date: 30.03.23

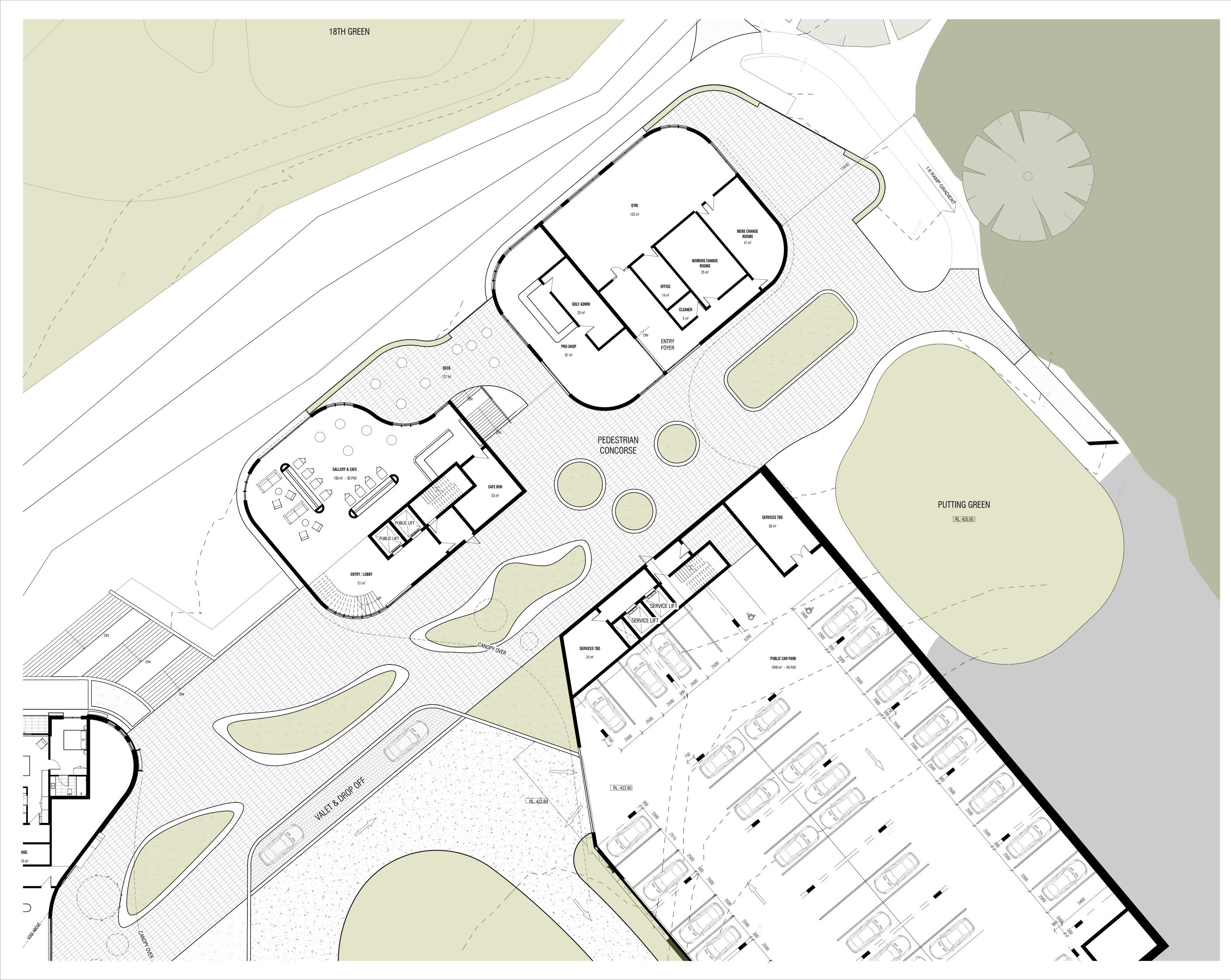
SHEET NAME FACILITIES_LOWER GROUND FLOOR

SHEET NO.

REVISION:

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HOTEL DEVELOPMENT SUMMARY 35 GOLFLINKS RD, STIRLING, SA.		
DEVELOPMENT SITE AREA		
HOTEL		
SUITES	56 SUITES	
SERVICED APARTMENT - 2 BED	15 APARTMENTS	
SERVICED APARTMENT - 3 BED	15 APARTMENTS	
PENTHOUSE APARTMENTS	2 APARTMENTS	
TOTAL	88 UNITS	
PODS		
TOTAL	17 UNITS - 1 BEDROOM	
PARKING		
CAR SPACES - MAIN BUILDING	200 SPACES	
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES	

AREA

AREA TYPE

FACILITIES	
BACK OF HOUSE / SERV LG	1039 m ²
BACK OF HOUSE / SERV LVL 1	233 m ²
GROUND FLOOR - F&B	325 m ²
GROUND FLOOR- GOLF	429 m ²
LEVEL 1	1393 m ²
LEVEL 2	570 m ²
LEVEL 3	447 m ²
LOWER GROUND	937 m ²
SERVICES CORE-L3	54 m ²
	5426 m ²
FACILITIES CARPARK	
FIRST FLOOR CARPARK	1461 m ²
GROUD FLOOR CARPARK	1886 m ²
LOADING BAY	67 m ²
	3413 m ²
HOTEL	
GROUND FLOOR	1095 m ²
LEVEL 1	2334 m ²
LEVEL 2	1659 m ²
LEVEL 3	1921 m ²
LOWER GROUND	1149 m ²
	8157 m ²
HOTEL CARPARK	
HOTEL CARPARK	1352 m ²
LOWER GROUND CARPARK	1515 m ²
	2867 m ²
Grand total: 19	19864 m ²

The drawings are to be viewed with regard to the scale at which the document has been issued and for the specific purpose of the issue. The information contained within is considered to be correct at the time of documentation. As an uncontrolled document, R ARCHITECTURE accepts no responsibility for alterations by persons once issued. By accepting and utilizing any drawings or other data or any form of electronic media generated and provided by R ARCHITECTURE the Client agrees not to use these drawings and data, in whole or in part, for any purpose or project other than the project which is the subject of this agreement. The Client agrees to waive all claims against R ARCHITECTURE resulting in any way or from any unauthorised changes or reuse of the drawings and data for any other project by anyone other than R ARCHITECTURE. In addition, the Client agrees, to the fullest extent permitted by the law, to indemnify and hold R ARCHITECTURE harmless from any damage, liability, or cost, including costs of defence, arising from any changes made by anyone other that R ARCHITECTURE or form any reuse of the drawings and data without prior written consent of R ARCHITECTURE. By accepting and utilizing any drawings or other data on any form of electronic media generated and provided by R ARCHITECTURE, the Client agrees that all such drawings and data are instruments of service of R ARCHITECTURE, who shall be deemed the author of the drawings and data and shall retain all common law, statutory law and other rights, including copyrights and Intellectual property.

PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS

35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1 Scale@A3

Date: 30.03.23

SHEET NO.

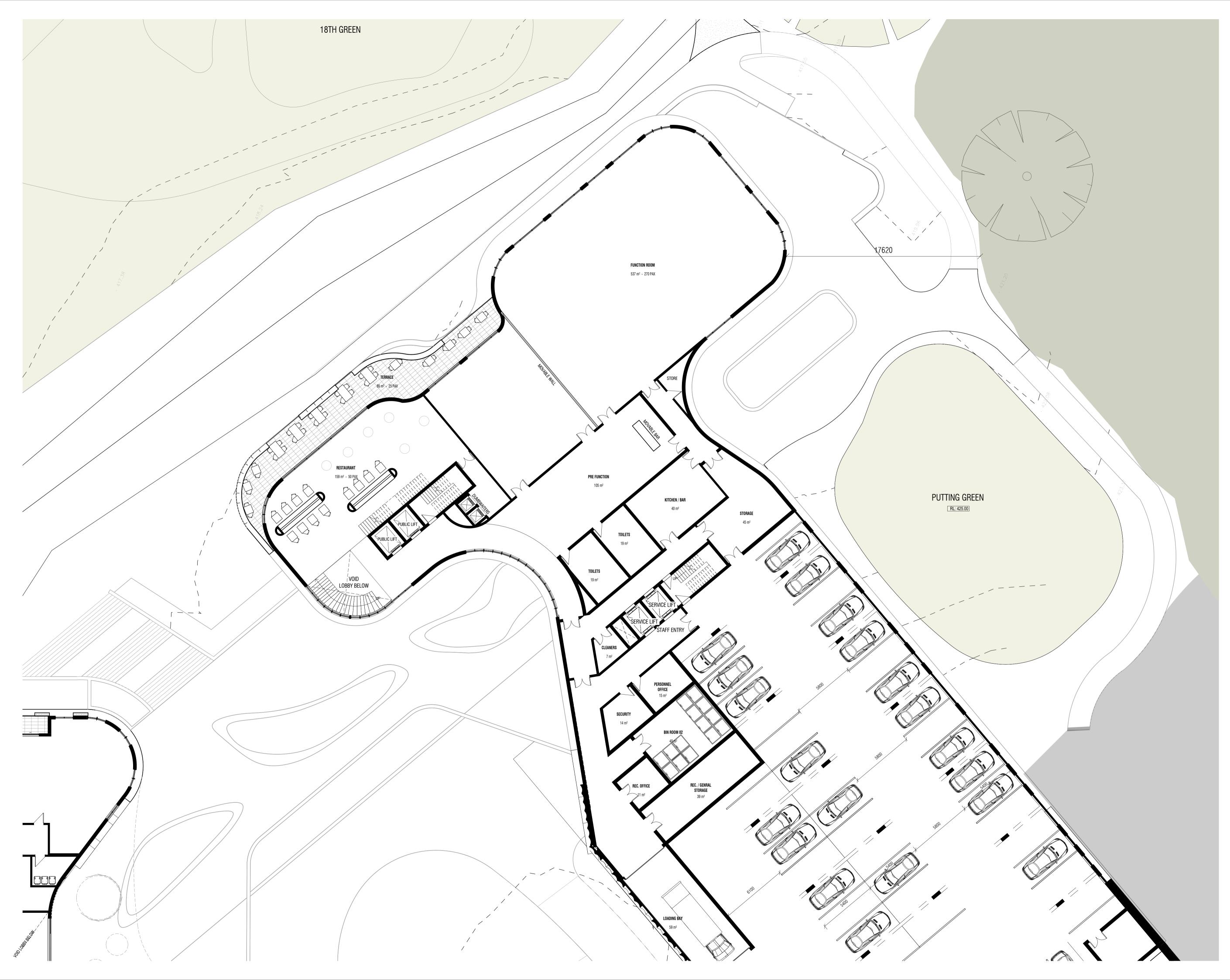
SHEET NAME
FACILITIES_GROUND FLOOR PLAN

TP13

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HOTEL DEVELOPMENT SUMMARY 35 GOLFLINKS RD, STIRLING, SA.		
DEVELOPMENT SITE AREA		
HOTEL		
SUITES	56 SUITES	
SERVICED APARTMENT - 2 BED	15 APARTMENTS	
SERVICED APARTMENT - 3 BED	15 APARTMENTS	
PENTHOUSE APARTMENTS	2 APARTMENTS	
TOTAL	88 UNITS	
PODS		
TOTAL	17 UNITS - 1 BEDROOM	
PARKING		
CAR SPACES - MAIN BUILDING	200 SPACES	
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES	

AREA

AREA TYPE

BACK OF HOUSE / SERV LG	1039 m ²
BACK OF HOUSE / SERV LVL 1	233 m ²
GROUND FLOOR - F&B	325 m ²
GROUND FLOOR- GOLF	429 m ²
LEVEL 1	1393 m ²
LEVEL 2	570 m ²
LEVEL 3	447 m ²
LOWER GROUND	937 m ²
SERVICES CORE-L3	54 m ²
	5426 m ²
FACILITIES CARPARK	
FIRST FLOOR CARPARK	1461 m ²
GROUD FLOOR CARPARK	1886 m ²
LOADING BAY	67 m ²
	3413 m ²
HOTEL	
GROUND FLOOR	1095 m ²
LEVEL 1	2334 m ²
LEVEL 2	1659 m²
LEVEL 3	1921 m ²
LOWER GROUND	1149 m ²
	8157 m ²
HOTEL CARPARK	
HOTEL CARPARK	1352 m ²
LOWER GROUND CARPARK	1515 m²
	2867 m ²
Grand total: 19	19864 m ²

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
В	DA SUBMISSION	01.12.21
С	DA - FURTHER INFORMATION DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISION	29.11.22
E	DA- FURTHER INFORMATION SUBMISION	30.03.23

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PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152

TP14

Scale@A1 Scale@A3 Date: 30.03.23

SHEET NAME

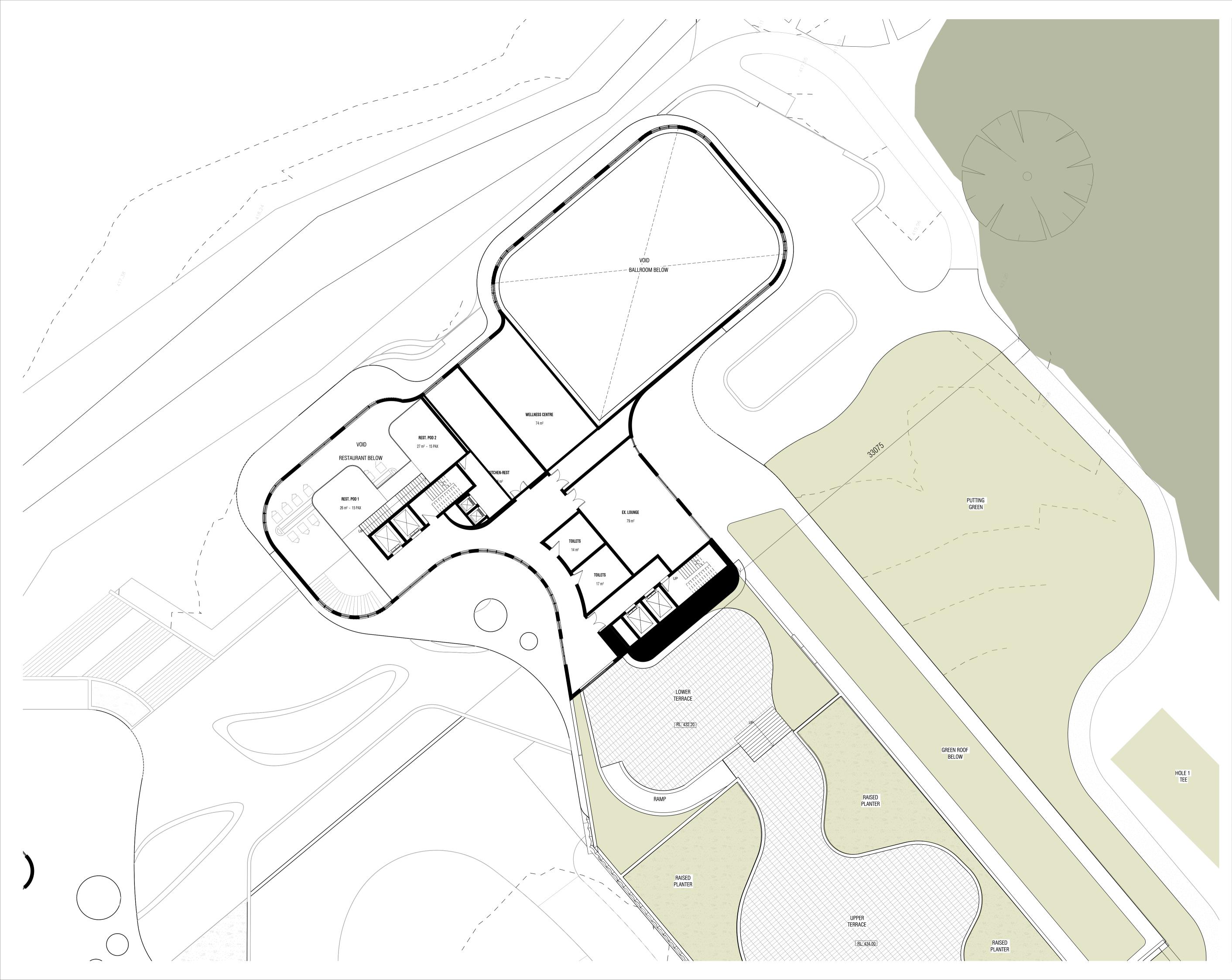
FACILITIES_LEVEL 1 PLAN

SHEET NO.

REVISION:

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HOTEL DEVELOPMENT SUMMARY 35 GOLFLINKS RD, STIRLING, SA.		
DEVELOPMENT SITE AREA		
HOTEL		
SUITES	56 SUITES	
SERVICED APARTMENT - 2 BED	15 APARTMENTS	
SERVICED APARTMENT - 3 BED	15 APARTMENTS	
PENTHOUSE APARTMENTS	2 APARTMENTS	
TOTAL	88 UNITS	
PODS		
TOTAL	17 UNITS - 1 BEDROOM	
PARKING		
CAR SPACES - MAIN BUILDING	200 SPACES	
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES	

AREA

AREA TYPE

FACILITIES	
BACK OF HOUSE / SERV LG	1039 m ²
BACK OF HOUSE / SERV LVL 1	233 m ²
GROUND FLOOR - F&B	325 m ²
GROUND FLOOR- GOLF	429 m ²
LEVEL 1	1393 m ²
LEVEL 2	570 m ²
LEVEL 3	447 m ²
LOWER GROUND	937 m ²
SERVICES CORE-L3	54 m ²
	5426 m ²
FACILITIES CARPARK	
FIRST FLOOR CARPARK	1461 m ²
GROUD FLOOR CARPARK	1886 m ²
LOADING BAY	67 m ²
	3413 m ²
HOTEL	
GROUND FLOOR	1095 m ²
LEVEL 1	2334 m ²
LEVEL 2	1659 m ²
LEVEL 3	1921 m ²
LOWER GROUND	1149 m ²
	8157 m ²
HOTEL CARPARK	
HOTEL CARPARK	1352 m ²
LOWER GROUND CARPARK	1515 m ²
	2867 m ²
Grand total: 19	19864 m ²

The drawings are to be viewed with regard to the scale at which the document has been issued and for the specific purpose of the issue. The information contained within is considered to be correct at the time of documentation. As an uncontrolled document, R ARCHITECTURE accepts no responsibility for alterations by persons once issued. By accepting and utilizing any drawings or other data or any form of electronic media generated and provided by R ARCHITECTURE the Client agrees not to use these drawings and data, in whole or in part, for any purpose or project other than the project which is the subject of this agreement. The Client agrees to waive all claims against R ARCHITECTURE resulting in any way or from any unauthorised changes or reuse of the drawings and data for any other project by anyone other than R ARCHITECTURE. In addition, the Client agrees, to the fullest extent permitted by the law, to indemnify and hold R ARCHITECTURE harmless from any changes made by anyone other that R ARCHITECTURE or from any reuse of the drawings and data without prior written consent of R ARCHITECTURE. By accepting and utilizing any drawings or other data on any form of electronic media generated and provided by R ARCHITECTURE, the Client agrees that all such drawings and data are instruments of service of R ARCHITECTURE, who shall be deemed the author of the drawings and data and shall retain all common law, statutory law and other rights, including copyrights and Intellectual property.

PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1 Scale@A3 Date: 30.03.23

SHEET NAME

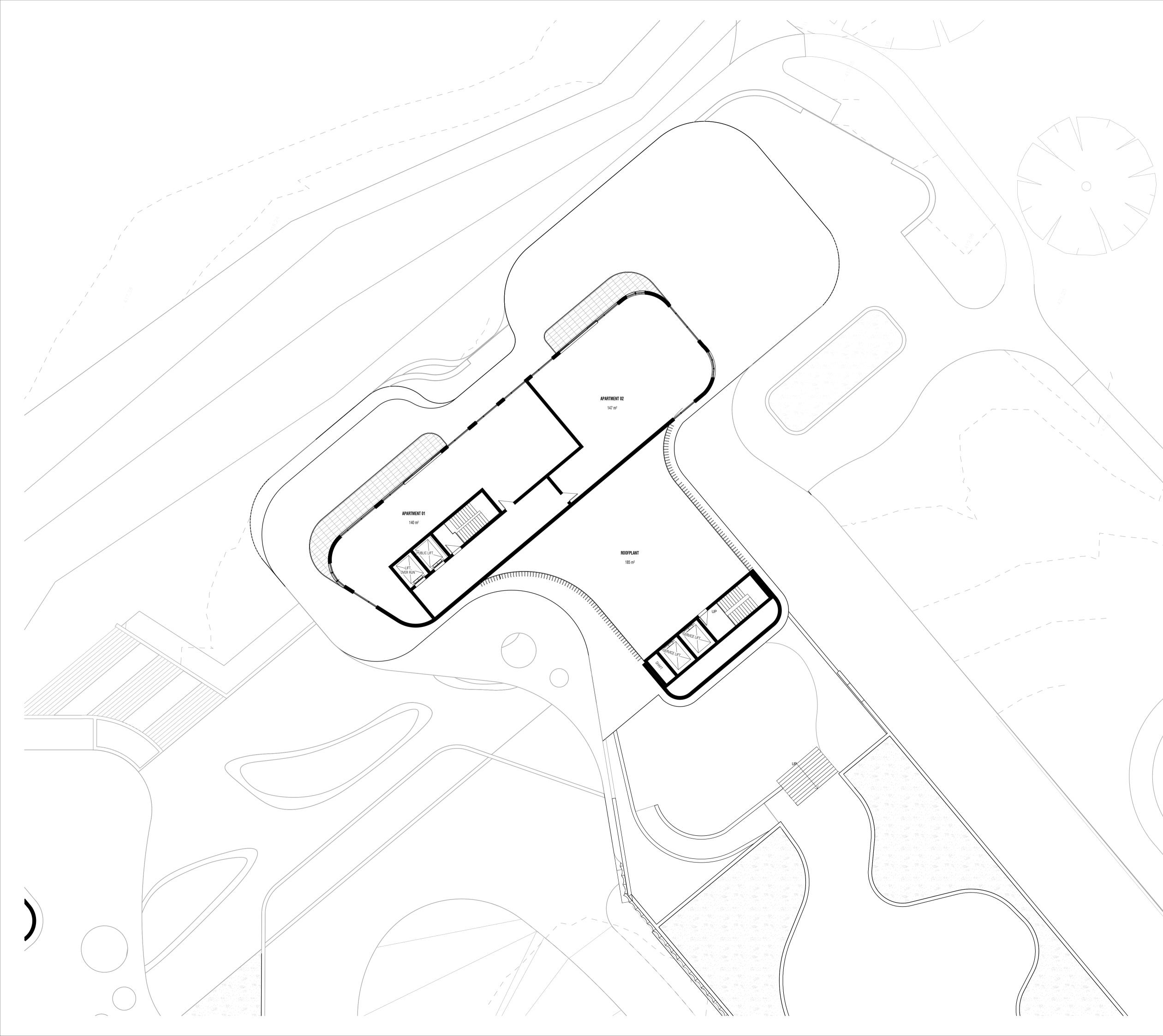
REVISION:

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FACILITIES_SECOND FLOOR PLAN

SHEET NO. TP15





HOTEL SUITES 56 SUITES SERVICED APARTMENT - 2 BED 15 APARTMENTS SERVICED APARTMENT - 3 BED 15 APARTMENTS PENTHOUSE APARTMENTS 2 APARTMENTS TOTAL 88 UNITS PODS 17 UNITS - 1 BEDROOM PARKING 200 SPACES CAR SPACES - MAIN BUILDING 200 SPACES CAR SPACES - PERFUMERY OVERFLOW 20 SPACES CAR SPACES - PERFUMERY OVERFLOW 20 SPACES BACK OF HOUSE / SERV LG 1039 m² BACK OF HOUSE / SERV LUL 1 233 m² GROUND FLOOR - F&B 325 m² GROUND FLOOR CARPARK 447 m² LOWER GROUND 937 m² SERVICES CORE-L3 54 m² FACILITIES CARPARK 1461 m² GROUND FLOOR CARPARK 1461 m² GROUND CARPARK 1461 m² GROUND CARPARK 1461 m² GROUND CARPARK 1461 m² GROUND FLOOR 1095 m² <th></th> <th>GOLFLINKS RD, STIRLING, SA.</th> <th></th> <th></th>		GOLFLINKS RD, STIRLING, SA.		
SUITES 56 SUITES SERVICED APARTMENT - 2 BED 15 APARTMENTS SERVICED APARTMENT - 3 BED 15 APARTMENTS PENTHOUSE APARTMENTS 2 APARTMENTS TOTAL 88 UNITS PODS 17 UNITS - 1 BEDROOM PARKING 200 SPACES CAR SPACES - PERFUMERY OVERFLOW 200 SPACES CAR SPACES - PERFUMERY OVERFLOW 20 SPACES BACK OF HOUSE / SERV LG 1039 m² BACK OF HOUSE / SERV LG 1039 m² BACK OF HOUSE / SERV LV1 233 m² GROUND FLOOR - F&B 325 m² GROUND FLOOR - F&B 325 m² GROUND FLOOR - F&B 325 m² SERVICES CORE-L3 54 m² YACE MARK 1461 m² GROUND FLOOR CARPARK 1461 m² FACILITIES CORE-L3 54 m² SERVICES CORE-L3 54 m² YACE M2 1000 R GROUND FLOOR CARPARK 1461 m² GROUND FLOOR CARPARK 1386 m² IDADING BAY 67 m² HOTEL 192 m² GROUND FLOOR CARPARK 1461 m² GROUND FLOOR CARPARK 1365 m² UOWER GROUND 1149 m² HOTEL 2087 m² GROUND FLOOR 1095 m² LEVE		VELOPMENT SITE AREA		
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D DA - FURTHER INFORMATION SUBMISION 29.11.2			DRAFT	01.12.2
L DA- FURTHER INFORMATION SUBMISION 30.03.2		DA - FURTHER INFORMATION S	SUBMISION	29.11.22
		DA- FURTHER INFORMATION S	UBMISION	30.03.2

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PROJECT

MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1 Scale@A3

Date: 30.03.23

SHEET NAME FACILITIES_THIRD FLOOR PLAN

SHEET NO. TP16

PRELIMINARY NOT FOR CONSTRUCTION



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REVISION:

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HOTEL DEVELOPMENT SUMMARY 35 GOLFLINKS RD, STIRLING, SA.		
DEVELOPMENT SITE AREA		
HOTEL		
SUITES	56 SUITES	
SERVICED APARTMENT - 2 BED	15 APARTMENTS	
SERVICED APARTMENT - 3 BED	15 APARTMENTS	
PENTHOUSE APARTMENTS	2 APARTMENTS	
TOTAL	88 UNITS	
PODS		
TOTAL	17 UNITS - 1 BEDROOM	
PARKING		
CAR SPACES - MAIN BUILDING	200 SPACES	
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES	

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
В	DA SUBMISSION	01.12.21
С	DA - FURTHER INFORMATION_DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISION	29.11.22
E	DA- FURTHER INFORMATION SUBMISION	30.03.23

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PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS

35 GOLF LINKS ROAD, STIRLING SA 5152

 Scale@A1

 Scale@A3

 Date:
 30.03.23

 SHEET NAME

 PODS MASTERPLAN

SHEET NO.

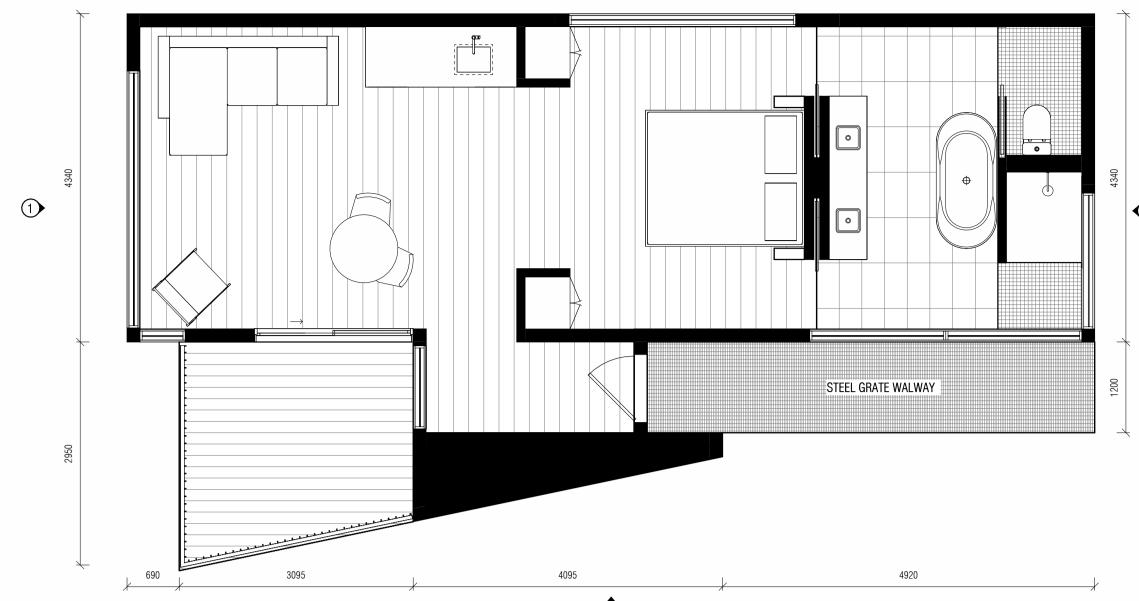
PRELIMINARY NOT FOR CONSTRUCTION

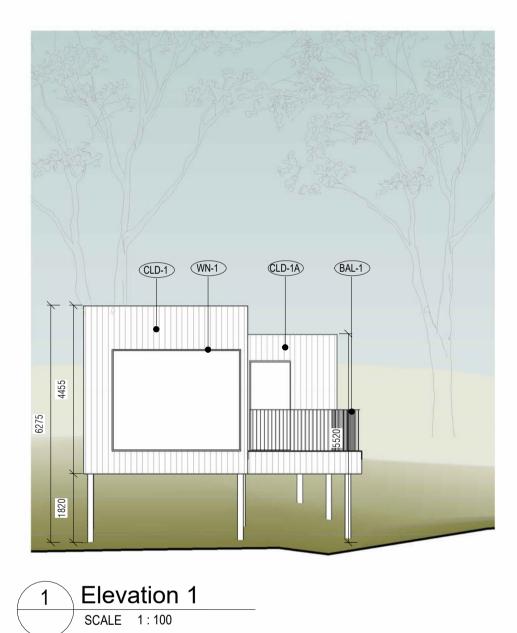


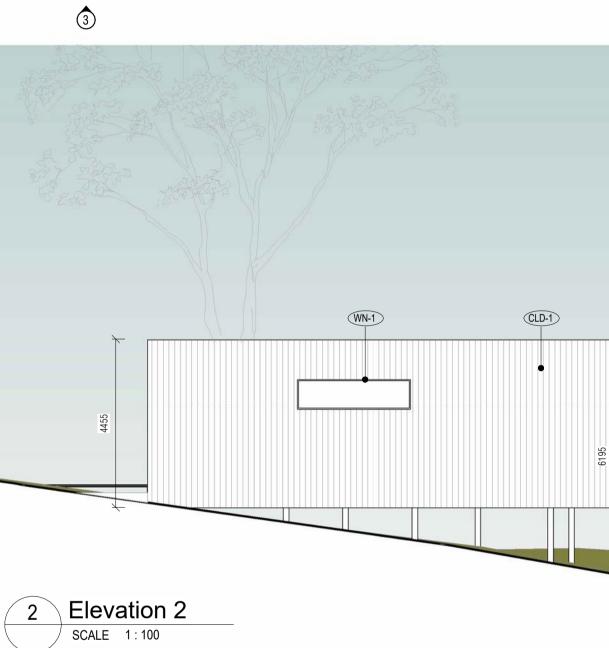
REVISION:

F

2

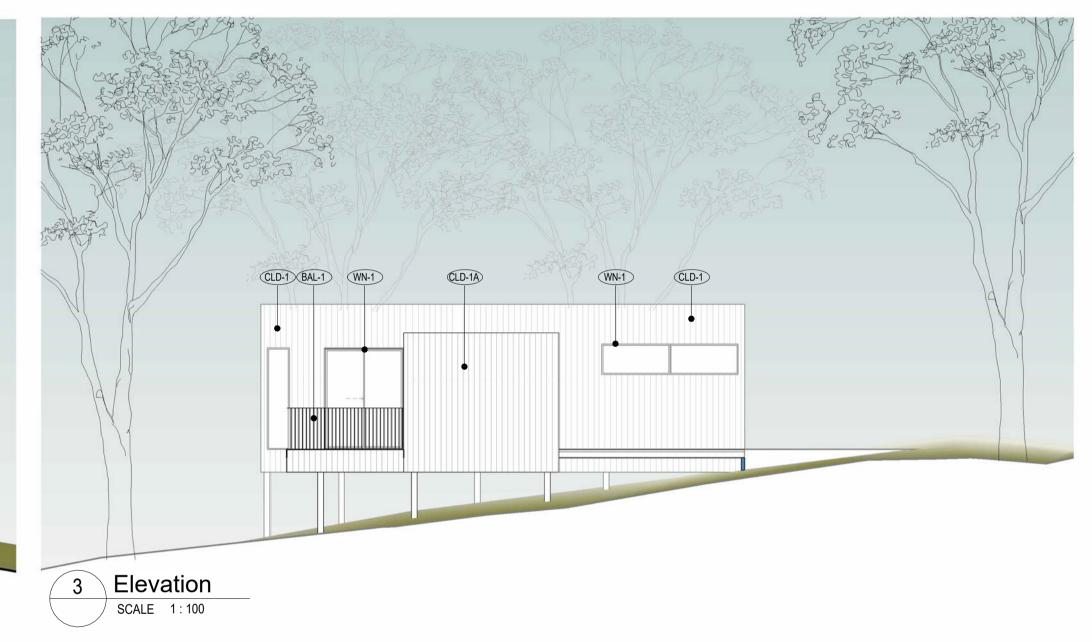










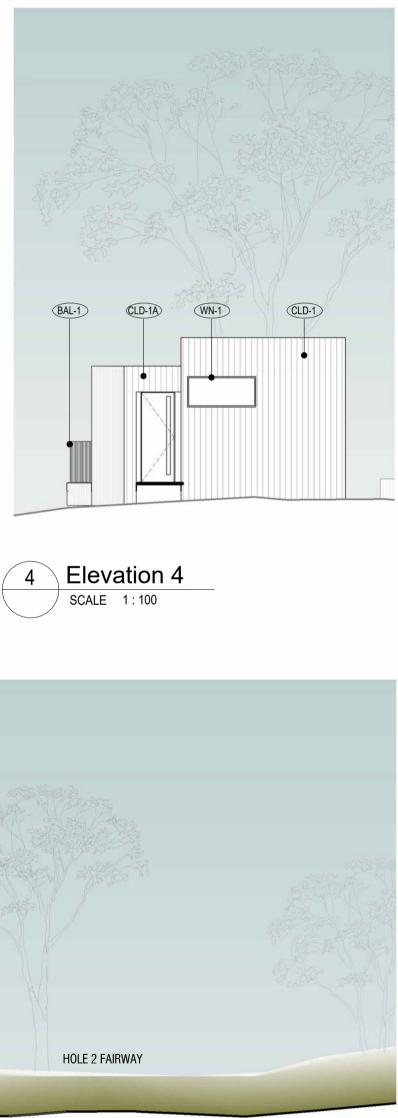




CLD-1_TIMBER SHIPLAP CLADDING



CLD-1A_ CHARED TIMBER SHIPLAP CLADDING



No.	Description	Date
4	DA- FURTHER INFORMATION SUBMISION	30.03.23
been is within docum once is electro to use than th claims change R ARCI the law liability anyone withou drawing ARCHI service data an	awings are to be viewed with regard to the scale at which the sued and for the specific purpose of the issue. The informat is considered to be correct at the time of documentation. As ent, R ARCHITECTURE accepts no responsibility for alteratio sued. By accepting and utilizing any drawings or other data nic media generated and provided by R ARCHITECTURE the these drawings and data, in whole or in part, for any purpose e project which is the subject of this agreement. The Client against R ARCHITECTURE resulting in any way or from any so or reuse of the drawings and data for any other project by HITECTURE. In addition, the Client agrees, to the fullest exter , to indemnify and hold R ARCHITECTURE harmless from ar y, or cost, including costs of defence, arising from any change other that R ARCHITECTURE or from any reuse of the drawing gs or orter data on any form of electronic media generated a TECTURE, the Client agrees that all such drawings and data is of R ARCHITECTURE, who shall be deemed the author of th d shall retain all common law, statutory law and other rights who and altolectual procept.	ion contained an uncontrolled ins by persons or any form of Client agrees not e or project other agrees to waive al unauthorised anyone other than in permitted by ny damage, ges made by ngs and data d utilizing any und provided by R are instruments of e drawings and
	the and intellectual property.	, molaung
OJECT		

MOUNT LOFT GOLF ESTATE ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152 Scale@A1 AS Scale@A3 INDICATED Date: 30.03.23 SHEET NAME PODS TYPICAL PLANS & ELEVATIONS SHEET NO. REVISION: TP18 A *PRELIMINARY NOT FOR CONSTRUCTION*

2 FACILITIES_WEST ELEVATION SCALE 1:175







FINISHES	S LEGEND
CON-1	INSITU CONCRETE FINISH
PC-1	CURVED PRECAST PANELS
PC-2	PRECAST PANELS
CLD-1	TIMBER CLADING
CLD-2	NATURAL SLATE CLADDING
CLD-3	METAL PANALISED CLADDING
CLD-4	PERFORATED METAL CLADDING
WN-1	POWDERCOATED ALUMINIUM WINDOWS
PL-1	PREFABRICATED METAL PLANTER WITH TRELLIS
BAL-1	METAL BLADE BALUSTRADE
MATERI	ALS & FINISHED SCHEDULE
WALLS	CON-1: INSITU CONCRETE SLAB EDGE AND WALLS COLOUR: NATURAL CONCRETE
	PC-1: CURVED PRECASTE CONCRETE PANELS COLOUR: NATURAL CONCRETE
	PC-2: PRECASTE CONCRETE PANELS COLOUR: NATURAL CONCRETE
	CLD-1: TIMBER CLADDING - MORTLOCK TRENDPLANK SHIPLAP CLADDING SPECIES: PACIFIC TEAK - BAL-19 COMPLIANT (OR EQUIVALENT)

	CLD-1: TIMBER CLADDING - MORTLOCK TRENDPLANK SHIPLAP CLADDING SPECIES: PACIFIC TEAK - BAL-19 COMPLIANT (OR EQUIVALENT) CLEAR OILED FINISH TO WHEATHER
	CLD-2: SLATE SHINGLE CLADDING. COLOUR: NATRUAL FINISH
	CLD-3: PANALISED METAL CLADDING. 300MM INTERLOCKING PROFILE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
	CLD-4: PERFORATED METAL CLADDING. COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
raised Planters	PL-1: PREFABRICATED ALUMINIUM PLANTER WITH WIRE TERLLIS COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
BALUSTRADE	BAL-1: STEEL BLADE BALUSTRADE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
WINDOWS	POWDERCOAT ALUMINIUM FRAME WINDOWS WITH GLAZING. COLOUR: BLACK (OR SIMILAR)
DOORS	CARPARK DOORS: PERFORATED METAL SECTIONAL GARAGE DOORS COLOUR: COLORBOND NIGHT SKY- BLACK (OR SIMILAR)

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
В	DA SUBMISSION	01.12.21
С	DA - FURTHER INFORMATION_DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISION	29.11.22
E	DA- FURTHER INFORMATION SUBMISION	30.03.23

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PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1

SHEET NO.

 Scale@A3

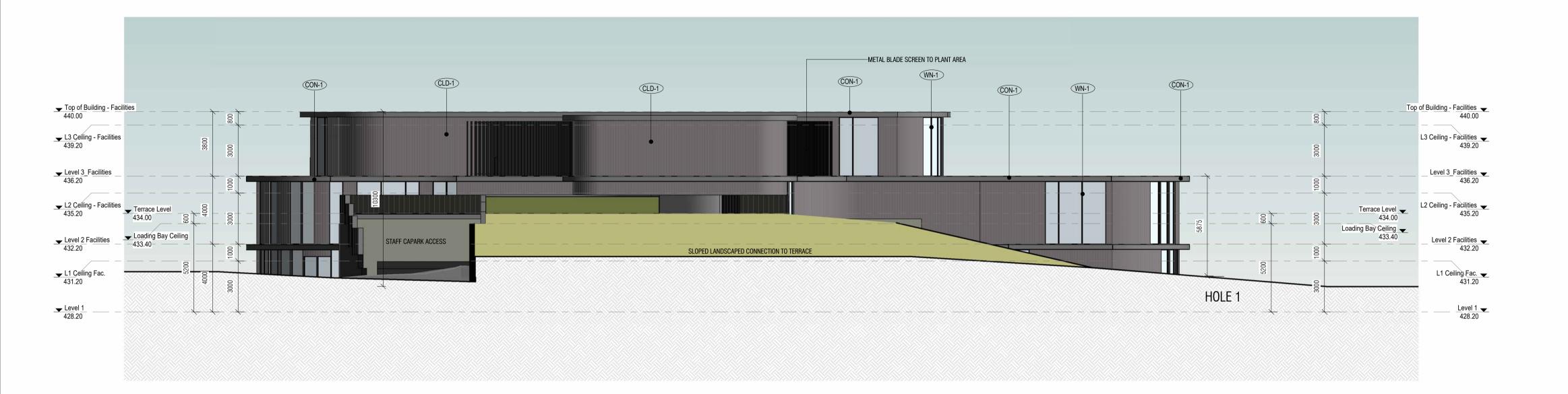
 Date:
 30.03.23

SHEET NAME

ELEVATIONS_FACILITIES

TP19.1 E *PRELIMINARY NOT FOR CONSTRUCTION*





1 FACILITIES_SOUTH ELEVATION SCALE 1:150





FINISHES	LEGEND
CON-1	INSITU CONCRETE FINISH
PC-1	CURVED PRECAST PANELS
PC-2	PRECAST PANELS
CLD-1	TIMBER CLADING
CLD-2	NATURAL SLATE CLADDING
CLD-3	METAL PANALISED CLADDING
CLD-4	PERFORATED METAL CLADDING
WN-1	POWDERCOATED ALUMINIUM WINDOWS
PL-1	PREFABRICATED METAL PLANTER WITH TRELLIS
BAL-1	METAL BLADE BALUSTRADE
MATERI	ALS & FINISHED SCHEDULE
	CON-1: INSITU CONCRETE SLAB EDGE AND WALLS

MATERIA	_S & FINISHED SCHEDULE

WALLS	CON-1: INSITU CONCRETE SLAB EDGE AND WALLS COLOUR: NATURAL CONCRETE
	PC-1: CURVED PRECASTE CONCRETE PANELS COLOUR: NATURAL CONCRETE
	PC-2: PRECASTE CONCRETE PANELS COLOUR: NATURAL CONCRETE
	CLD-1: TIMBER CLADDING - MORTLOCK TRENDPLANK SHIPLAP CLADDING SPECIES: PACIFIC TEAK - BAL-19 COMPLIANT (OR EQUIVALENT) CLEAR OILED FINISH TO WHEATHER
	CLD-2: SLATE SHINGLE CLADDING. COLOUR: NATRUAL FINISH
	CLD-3: PANALISED METAL CLADDING. 300MM INTERLOCKING PROFILE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
	CLD-4: PERFORATED METAL CLADDING. COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
RAISED PLANTERS	PL-1: PREFABRICATED ALUMINIUM PLANTER WITH WIRE TERLLIS COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
BALUSTRADE	BAL-1: STEEL BLADE BALUSTRADE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
WINDOWS	POWDERCOAT ALUMINIUM FRAME WINDOWS WITH GLAZING. COLOUR: BLACK (OR SIMILAR)
DOORS	CARPARK DOORS: PERFORATED METAL SECTIONAL GARAGE DOORS COLOUR: COLORBOND NIGHT SKY- BLACK (OR SIMILAR)

No.	Description	Date
Ą	CONSULTANT REVIEW	20.10.21
3	DA SUBMISSION	01.12.21
2	DA - FURTHER INFORMATION_DRAFT	08.09.22
)	DA - FURTHER INFORMATION SUBMISION	29.11.22
E	DA- FURTHER INFORMATION SUBMISION	30.03.23

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copyrights and Intellectual property. PROJECT

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1

Scale@A3 Date: 30.03.23

SHEET NAME

ELEVATION_FACILITIES

SHEET NO. TP19.2

PRELIMINARY NOT FOR CONSTRUCTION





1 HOTEL_WEST ELEVATION SCALE 1:150





FINISHES	S LEGEND
CON-1	INSITU CONCRETE FINISH
PC-1	CURVED PRECAST PANELS
PC-2	PRECAST PANELS
CLD-1	TIMBER CLADING
CLD-2	NATURAL SLATE CLADDING
CLD-3	METAL PANALISED CLADDING
CLD-4	PERFORATED METAL CLADDING
WN-1	POWDERCOATED ALUMINIUM WINDOWS
PL-1	PREFABRICATED METAL PLANTER WITH TRELLIS
BAL-1	METAL BLADE BALUSTRADE
MATERI	ALS & FINISHED SCHEDULE
WALLS	CON-1: INSITU CONCRETE SLAB EDGE AND WALLS COLOUR: NATURAL CONCRETE
	PC-1: CURVED PRECASTE CONCRETE PANELS COLOUR: NATURAL CONCRETE
	PC-2: PRECASTE CONCRETE PANELS COLOUR: NATURAL CONCRETE
	CLD-1: TIMBER CLADDING - MORTLOCK TRENDPLANK SHIPLAP CLADDING SPECIES: PACIFIC TEAK - BAL-19 COMPLIANT (OR EQUIVALENT) CLEAR OILED FINISH TO WHEATHER
	CLD-2: SLATE SHINGLE CLADDING. COLOUR: NATRUAL FINISH
	CLD-3: PANALISED METAL CLADDING. 300MM INTERLOCKING PROFILE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
	CLD-4: PERFORATED METAL CLADDING. COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
RAISED PLANTERS	PL-1: PREFABRICATED ALUMINIUM PLANTER WITH WIRE TERLLIS COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)

RAISED PLANTERS	PL-1: PREFABRICATED ALUMINIUM PLANTER WITH WIRE TERLLIS COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
BALUSTRADE	BAL-1: STEEL BLADE BALUSTRADE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
WINDOWS	POWDERCOAT ALUMINIUM FRAME WINDOWS WITH GLAZING. COLOUR: BLACK (OR SIMILAR)
DOORS	CARPARK DOORS: PERFORATED METAL SECTIONAL GARAGE DOORS COLOUR: COLORBOND NIGHT SKY- BLACK (OR SIMILAR)

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
В	DA SUBMISSION	01.12.21
С	DA - FURTHER INFORMATION_DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISION	29.11.22
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PROJECT

MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1

Scale@A3 Date:

ELEVATION_HOTEL

SHEET NO. TP19.3

30.03.23

PRELIMINARY NOT FOR CONSTRUCTION









FINISHES	LEGEND
CON-1	INSITU CONCRETE FINISH
PC-1	CURVED PRECAST PANELS
PC-2	PRECAST PANELS
CLD-1	TIMBER CLADING
CLD-2	NATURAL SLATE CLADDING
CLD-3	METAL PANALISED CLADDING
CLD-4	PERFORATED METAL CLADDING
WN-1	POWDERCOATED ALUMINIUM WINDOWS
PL-1	PREFABRICATED METAL PLANTER WITH TRELLIS
BAL-1	METAL BLADE BALUSTRADE
MATERIA	LS & FINISHED SCHEDULE
WALLS	CON-1: INSITU CONCRETE SLAB EDGE AND WALLS COLOUR: NATURAL CONCRETE
	PC-1: CURVED PRECASTE CONCRETE PANELS COLOUR: NATURAL CONCRETE
	PC-2: PRECASTE CONCRETE PANELS COLOUR: NATURAL CONCRETE
	CLD-1: TIMBER CLADDING - MORTLOCK TRENDPLANK SHIPLAP CLADDING SPECIES: PACIFIC TEAK - BAL-19 COMPLIANT (OR EQUIVALENT) CLEAR OILED FINISH TO WHEATHER
	CLD-2: SLATE SHINGLE CLADDING. COLOUR: NATRUAL FINISH
	CLD-3: PANALISED METAL CLADDING. 300MM INTERLOCKING PROFILE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
	CLD-4: PERFORATED METAL CLADDING. COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
RAISED PLANTERS	PL-1: PREFABRICATED ALUMINIUM PLANTER WITH WIRE TERLLIS COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
BALUSTRADE	BAL-1: STEEL BLADE BALUSTRADE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
WINDOWS	POWDERCOAT ALUMINIUM FRAME WINDOWS WITH GLAZING. COLOUR: BLACK (OR SIMILAR)
1	

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
В	DA SUBMISSION	01.12.21
С	DA - FURTHER INFORMATION DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISION	29.11.22
E	DA- FURTHER INFORMATION SUBMISION	30.03.23

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PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152

30.03.23

Scale@A1

Scale@A3 Date:

SHEET NAME

ELEVATION_HOTEL

SHEET NO. TP19.4

PRELIMINARY NOT FOR CONSTRUCTION





1 Section A_Facilities SCALE 1:500



COX CREEK LAKE

HOLE 18 FAIRWAY



3 Section Long Section_Hotel SCALE 1:500

COX CREEK LAKE

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
В	DA SUBMISSION	01.12.21
С	DA - FURTHER INFORMATION DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISION	29.11.22
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PROJECT

MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1

Scale@A3 Date: 30.03.23

SHEET NAME

SECTIONS

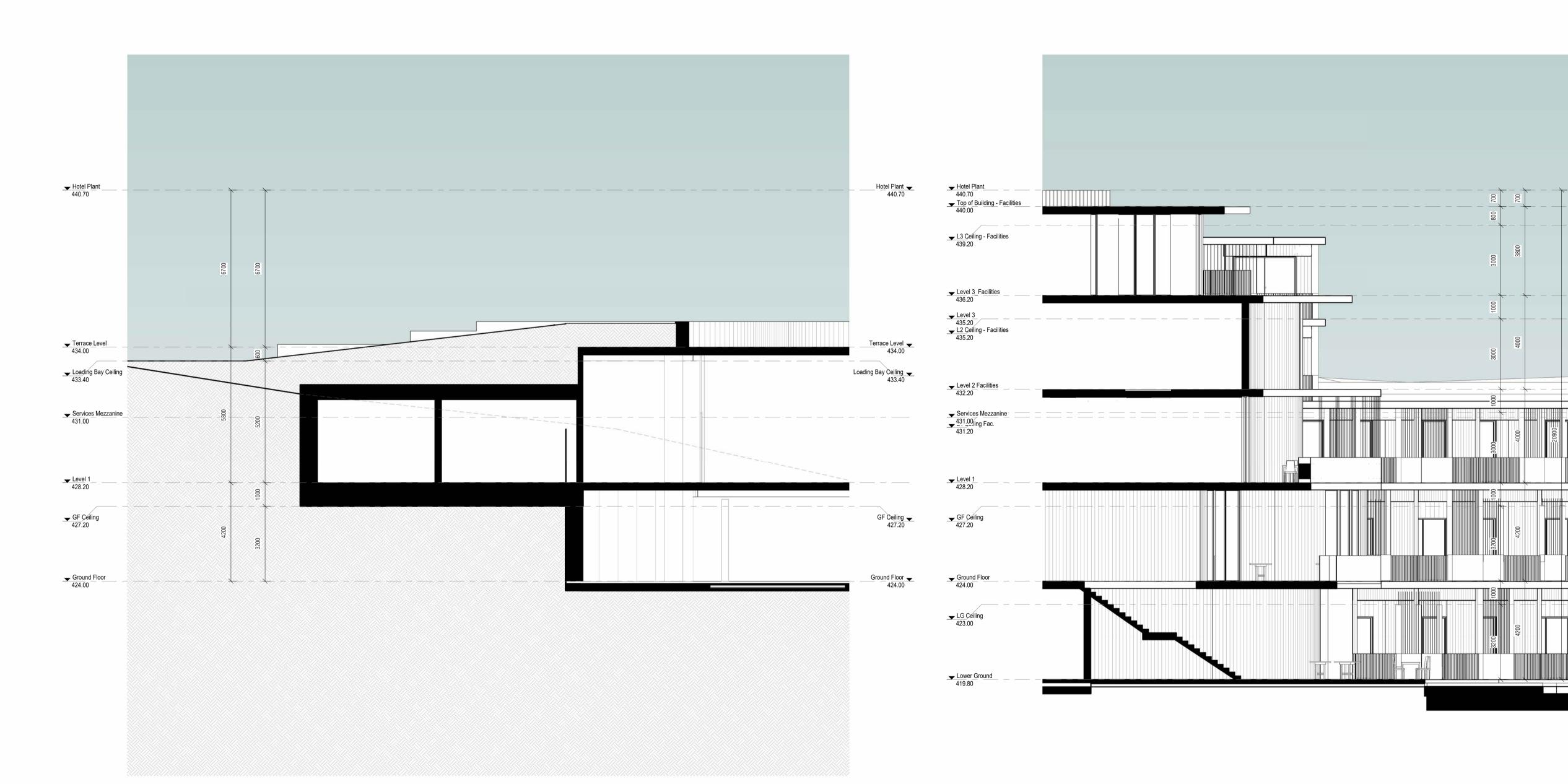
SHEET NO. TP20.1

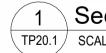
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REVISION:

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1 Section A_Facilities -Callout 1 TP20.1 SCALE 1:100



2 Section A_Facilities -Callout 2 TP20.1 SCALE 1:100



all R ARCHITECTURE. In addition, the Client agrees, to the fullest extent permitted by the law, to indemnify and hold R ARCHITECTURE harmless from any damage, liability, or cost, including costs of defence, arising from any changes made by anyone other that R ARCHITECTURE or from any reuse of the drawings and data without prior written consent of R ARCHITECTURE. By accepting and utilizing any drawings or other data on any form of electronic media generated and provided by R ARCHITECTURE, the Client agrees that all such drawings and data are instruments of service of R ARCHITECTURE, who shall be deemed the author of the drawings and data and shall retain all common law, statutory law and other rights, including copyrights and Intellectual property.

been within docu once elect to us than clain chan R AR	rawings are to be viewed with regard to the scale at which the issued and for the specific purpose of the issue. The informati n is considered to be correct at the time of documentation. As ment, R ARCHITECTURE accepts no responsibility for alteratio issued. By accepting and utilizing any drawings or other data ronic media generated and provided by R ARCHITECTURE the e these drawings and data, in whole or in part, for any purpose the project which is the subject of this agreement. The Client a is against R ARCHITECTURE resulting in any way or from any L ges or reuse of the drawings and data for any other project by CHITECTURE. In addition, the Client agrees, to the fullest exter us to indocume for any DACHITECTURE resulting the agree.	ion contained an uncontrolled ns by persons or any form of Client agrees not or project other agrees to waive a unauthorised anyone other tha nt permitted by

Hotel Plant 440.70 Top of Building - Facilities 440.00

L3 Ceiling - Facilities 👻 439.20

Level 3_Facilities + 436.20

Level 3 435.20 L2 Ceiling - Facilities 435.20

Level 2 Facilities + 432.20

Level 1 👻 428.20

GF Ceiling 🚽 427.20

Ground Floor -424.00

LG Ceiling 🚽 423.00

Lower Ground 419.80

Services Mezzanine L1 Ceilin 431.00 431.20

_____ ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152

 Scale@A1
 1:100

 Scale@A3
 1:200

Date:

SHEET NAME SECTIONS

SHEET NO.

1:200 30.03.23

PROJECT MOUNT LOFT GOLF ESTATE

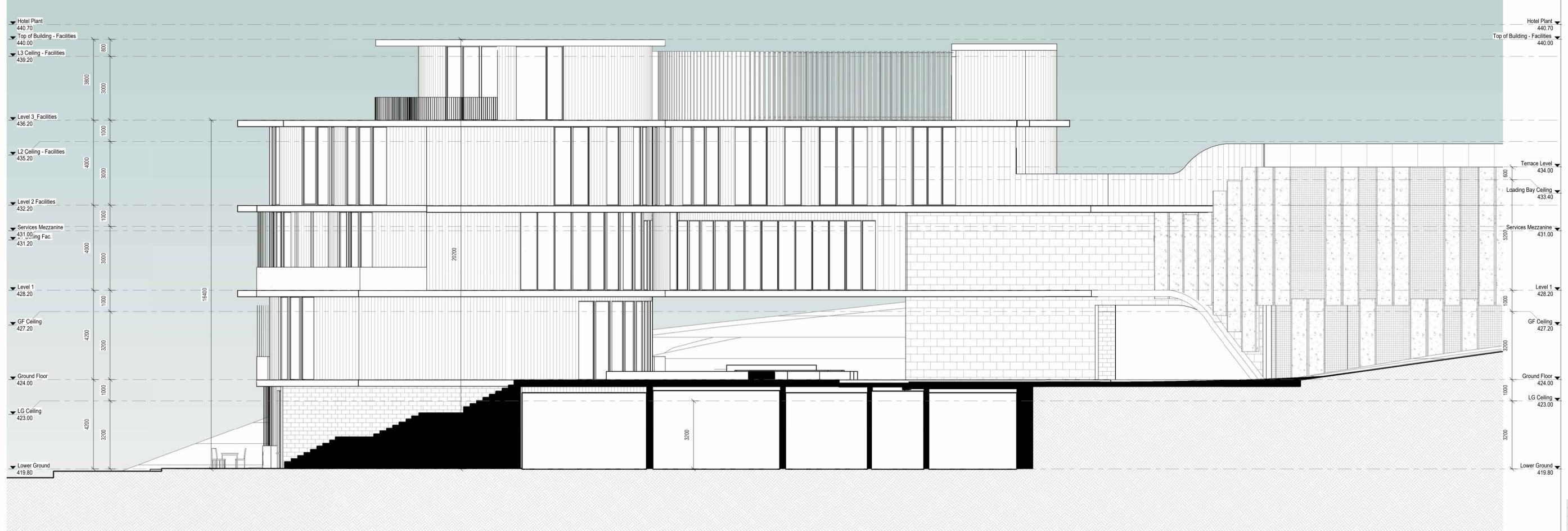
TP20.2

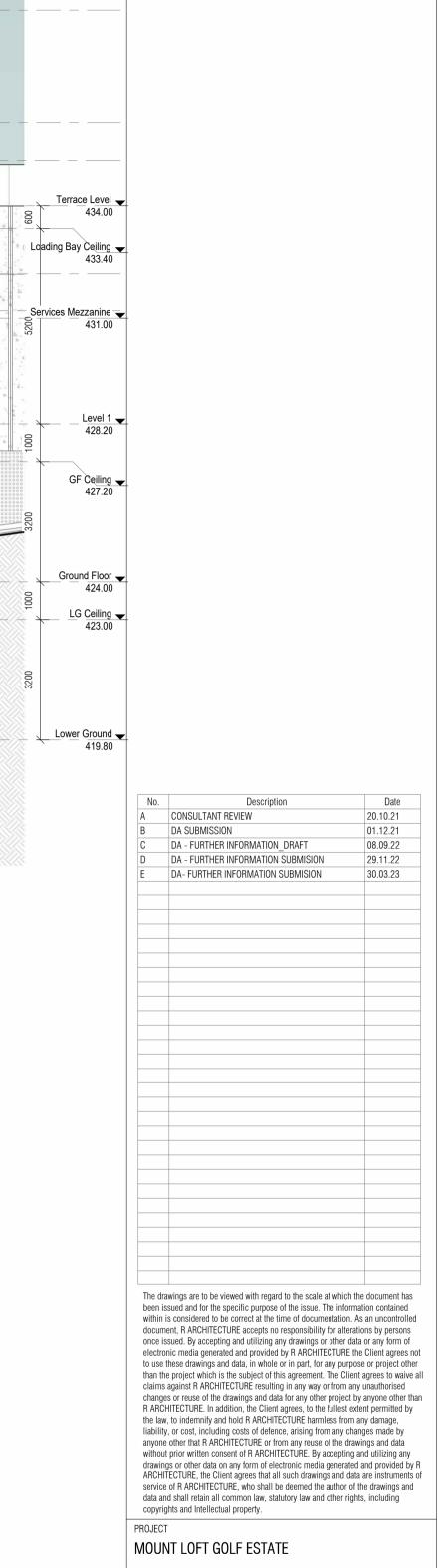
PRELIMINARY NOT FOR CONSTRUCTION



REVISION:

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35 GOLF LINKS ROAD, STIRLING SA 5152

_____ ADDRESS

Date:

SHEET NAME SECTIONS

SHEET NO.

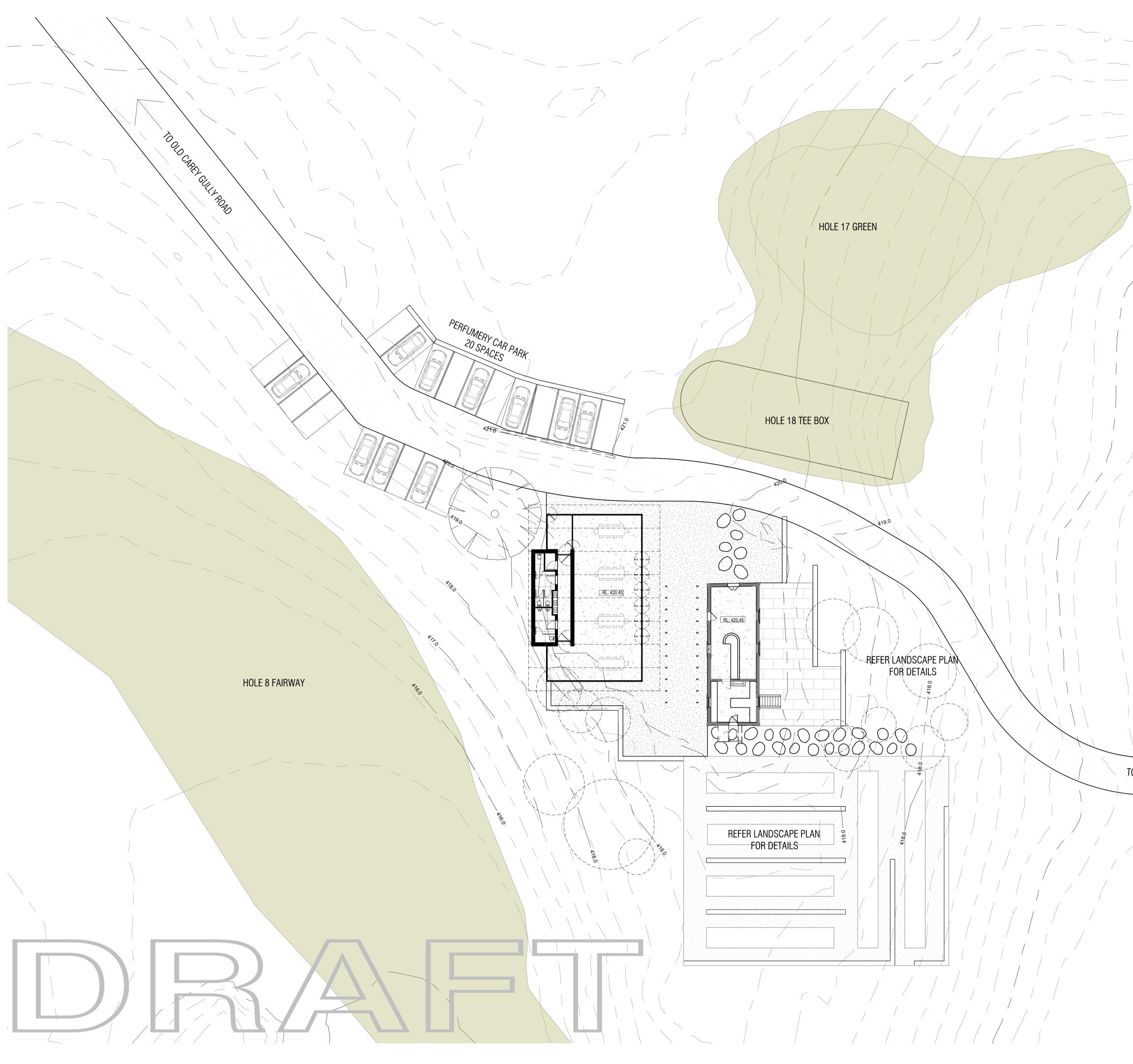
 Scale@A1
 1:100

 Scale@A3
 1:200

1:200 30.03.23

REVISION:

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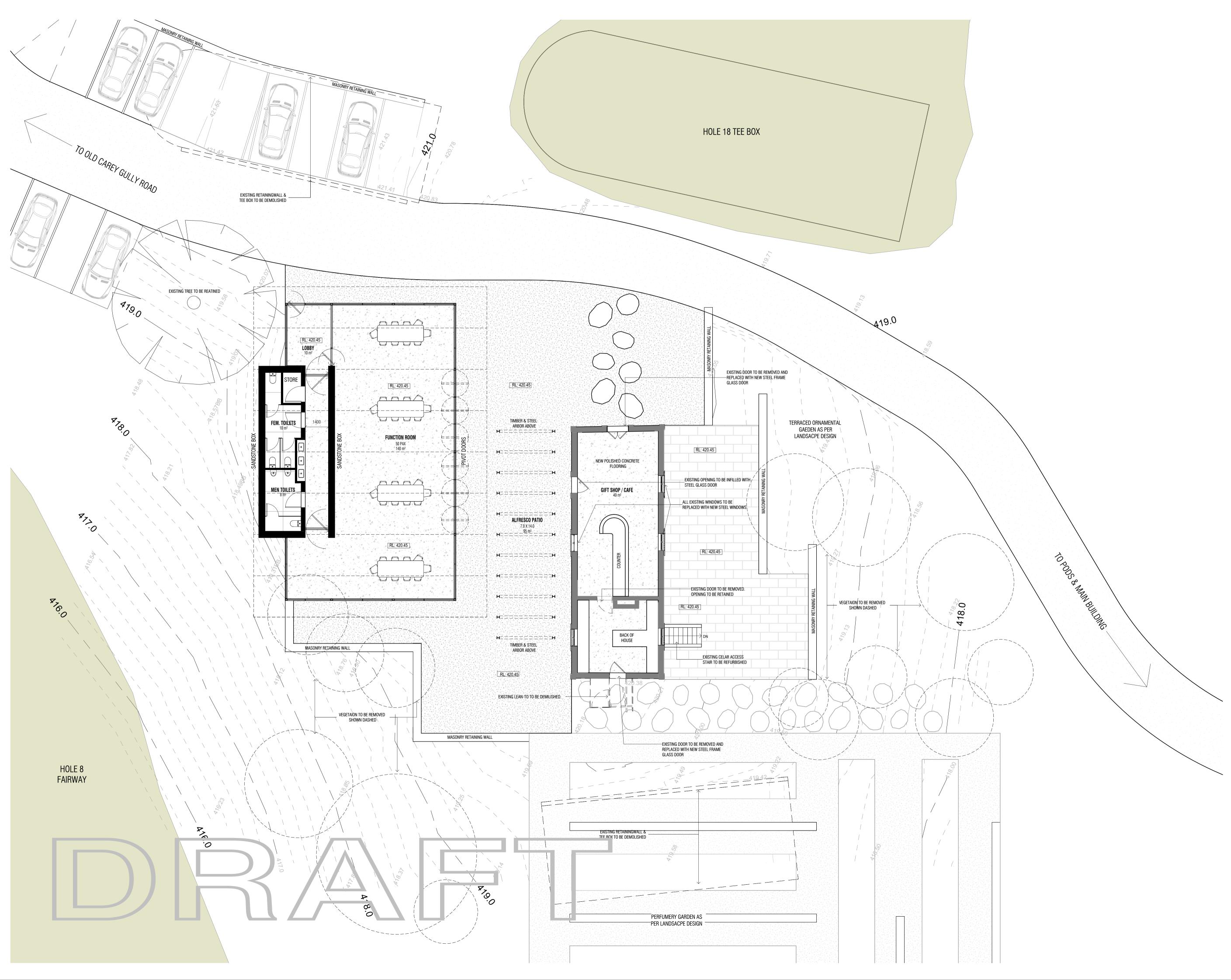


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	/	No. Description A PERFUMERY_PRELIMINARY CONCEPT
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		The drawings are to be viewed with regard to the so
		been issued and for the specific purpose of the iss within is considered to be correct at the time of do document, R ARCHITECTURE accepts no responsit once issued. By accepting and utilizing any drawing
		electronic media generated and provided by R ARC to use these drawings and data, in whole or in part, than the project which is the subject of this agreen claims against R ARCHITECTURE resulting in any w
TO PODS & MAIN	I BUILDING	changes or reuse of the drawings and data for any or R ARCHITECTURE. In addition, the Client agrees, to the law, to indemnify and hold R ARCHITECTURE h
	λ	liability, or cost, including costs of defence, arising anyone other that R ARCHITECTURE or from any re- without prior written consent of R ARCHITECTURE. drawings or other data on any form of electronic mu- dPRUTECTURE.
		ARCHITECTURE, the Client agrees that all such dra service of R ARCHITECTURE, who shall be deemed data and shall retain all common law, statutory law copyrights and Intellectual property.
		PROJECT MOUNT LOFTY GOLF ESTATE
/		ADDRESS
		35 GOLF LINKS ROAD, STIRLING
		Scale@A1 1:200
		Scale@A3 1:400 Date: 30.03.23
		SHEET NAME PERFUMERY – SITE PLAN
		SHEET NO. TP21.0
		TΓΖΙ.U *PRELIMINARY NOT FOR CC
		architecture I interior
		R ARCHITECTURE ph: 9802 0225 e: stur

0.	Description	Date
A	PERFUMERY_PRELIMINARY CONCEPT	22.02.23
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viewed with regard to the scale at which the document has specific purpose of the issue. The information contained be correct at the time of documentation. As an uncontrolled 'TURE accepts no responsibility for alterations by persons ing and utilizing any drawings or other data or any form of ated and provided by R ARCHITECTURE the Client agrees not nd data, in whole or in part, for any purpose or project other s the subject of this agreement. The Client agrees to waive all TECTURE resulting in any way or from any unauthorised drawings and data for any other project by anyone other than ldition, the Client agrees, to the fullest extent permitted by d hold R ARCHITECTURE harmless from any damage, ng costs of defence, arising from any changes made by 'HITECTURE or from any reuse of the drawings and data sent of R ARCHITECTURE. By accepting and utilizing any n any form of electronic media generated and provided by R ent agrees that all such drawings and data are instruments of URE, who shall be deemed the author of the drawings and common law, statutory law and other rights, including ial property.

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152		
Scale@A1	1:200	* *
Scale@A3	1:400	
Date:	30.03.23	\bigvee
SHEET NAME		
PERFUME	ry - Site plan	
SHEET NO.		REVISION:
	TP21.0	В
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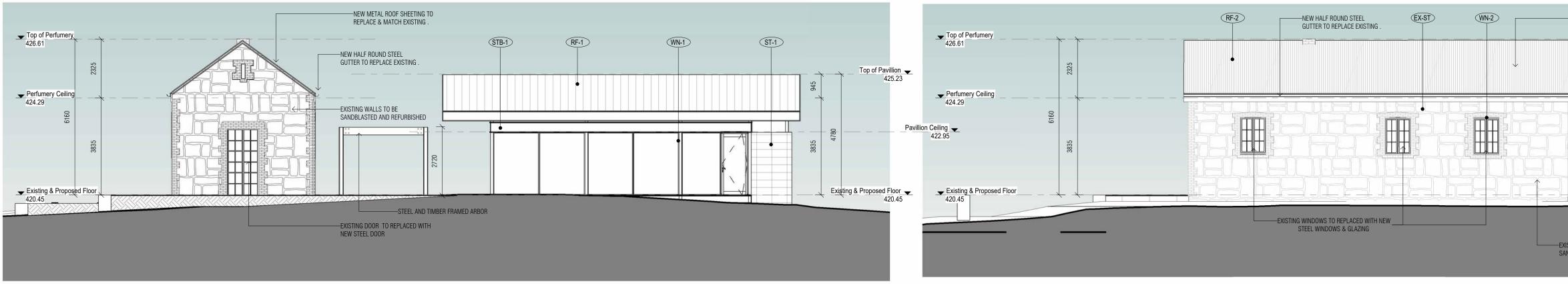
0.	Description	Date
A	PERFUMERY PRELIMINARY CONCEPT	22.02.23
B	DA- FURTHER INFORMATION SUBMISION	30.03.23
	DA- FORTHER INFORMATION SOBMISION	30.03.23

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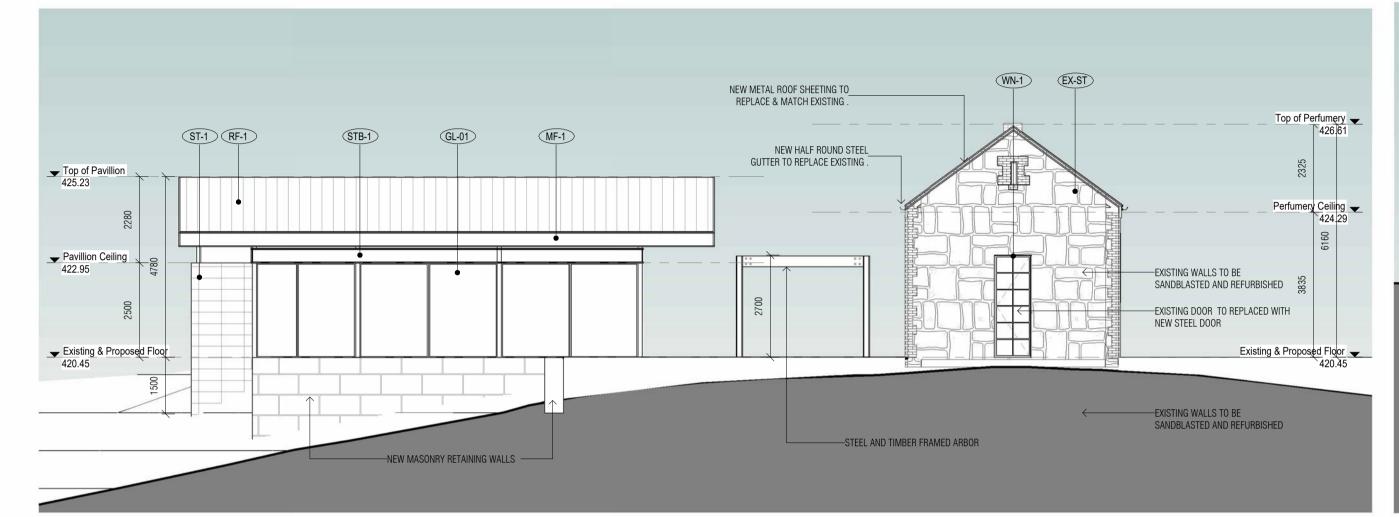
PROJECT MOUNT LOFTY GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152 Scale@A1 1:100 1:200 \searrow Scale@A3 Date: 30.03.23 SHEET NAME PERFUMERY - GROUND FLOOR PLAN SHEET NO. REVISION: TP21.1 В



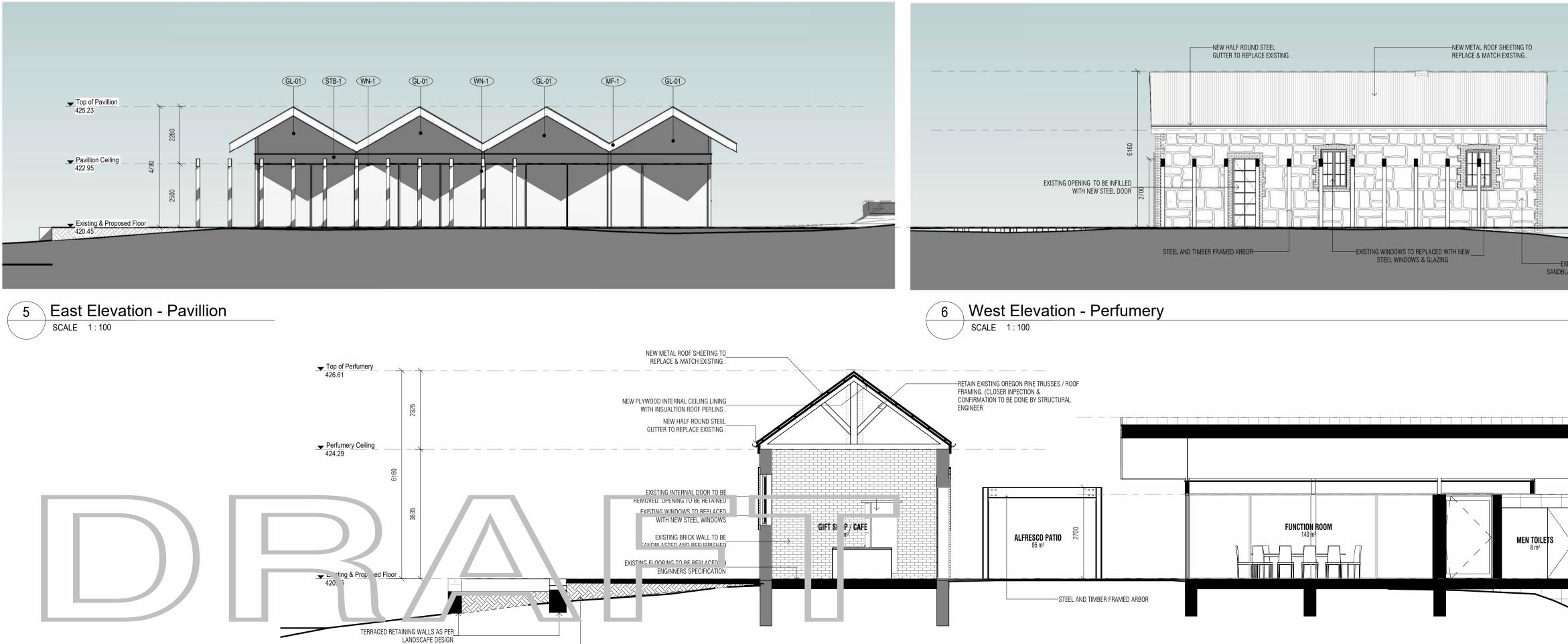






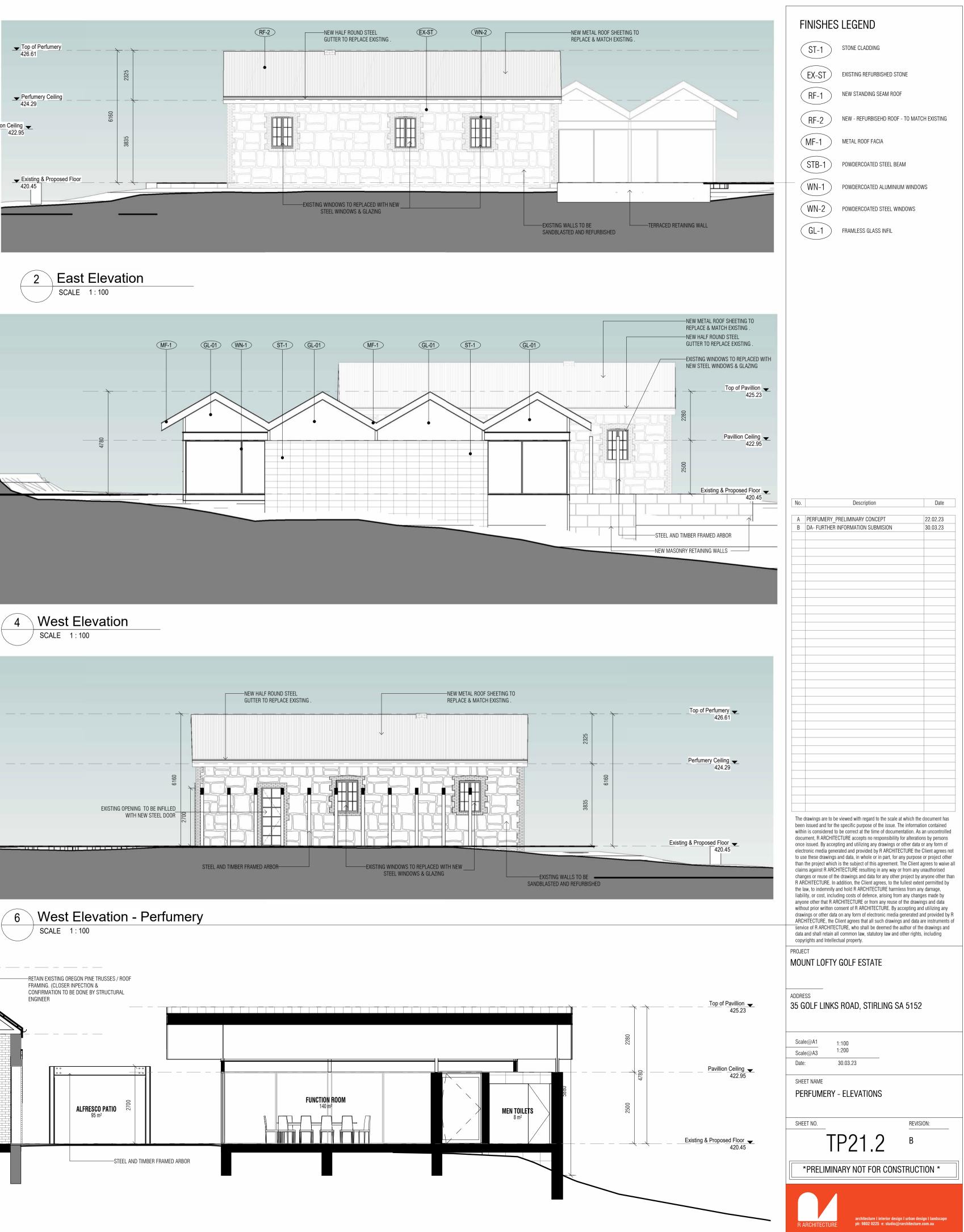
SITE FILL TO LEVEL PATIO AREA.-

3 South Elevation SCALE 1:100









-NEW ROOF & GUTTERING TO MATCH EXISTING

REAR LEAN-TO TO BE DEMOLISHED

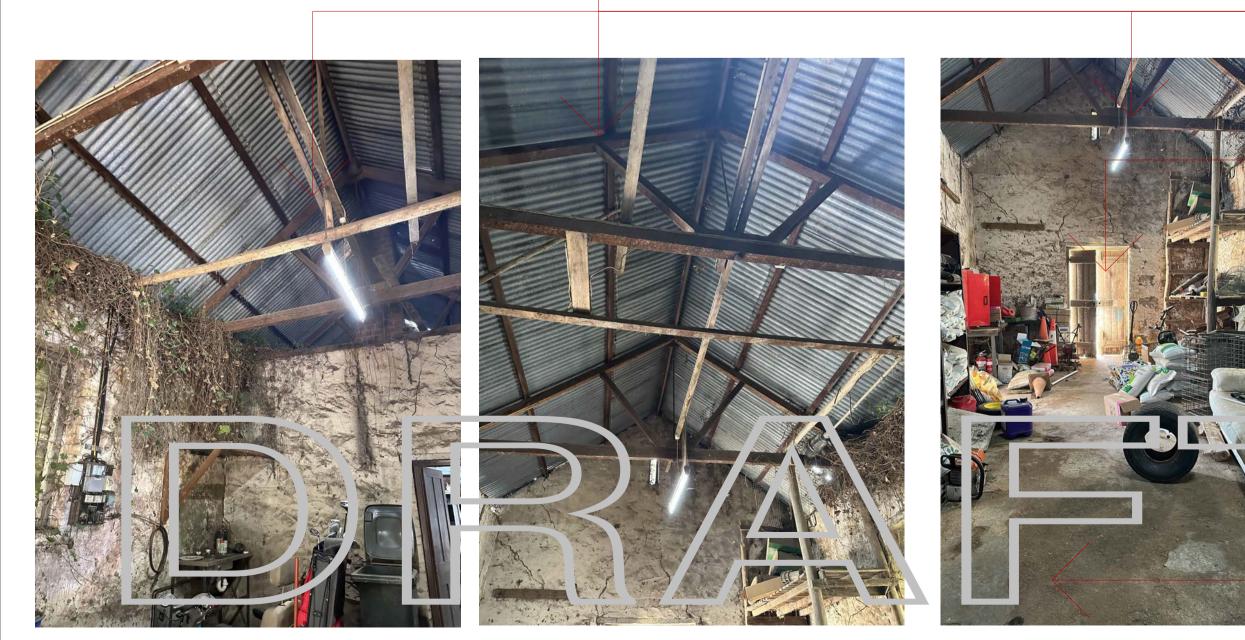


-EXISTING BUILTING TO BE RETAINED & REFURBISHED









----EXISTING ADDITIONAL SHED TO BE DEMOLISHED

EXISTING BUILDING TO BE

-EXISTING CONCRETE SLAB TO BE REMOVED



-EXISTING OPENING TO BE INFILLED WITH STEEL FRAME DOOR.

EXISTING DOOR TO BE REMOVED & OPEING -TO BE RETAINED FOR BACK OF HOUSE ACCESS.

INTERIOR WALLS TO BE SAND BLASTED TO EXPOSE BRICK & STONE

EXISTING CONCRETE SLAB TO BE PROVIDED WITH NEW -POLISHED CONCRETE TOPPING ON EXISTING SLAB TO ENGINEERS SPEC.

-EXISTING CONCRETE SLAB TO SHED AREA TO BE REMOVED

NEW EXPOSED TIMBER TRUSS TO BE PROVIDED. -INTERNAL TIMBER LINING TO UNDER SIDE OF TRUSSES WITH INSULATION.

-NEW STEEL ENTRY DOOR TO REPLACE EXISTING

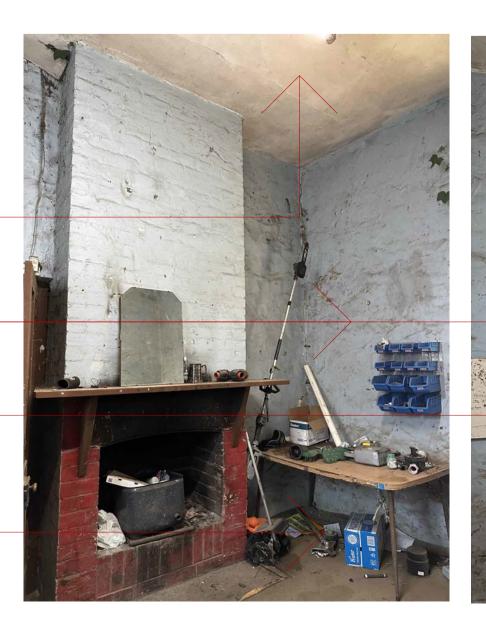
CEILING TO BE REMOVED. RAKED CEILING & NEW TRUSSES TO BE EXPOSED.

INTERIOR WALLS TO BE SAND BLASTED TO EXPOSE BRICK & STONE

EXISTING DOOR TO BE REMOVED & OPEING TO BE RETAINED FOR BACK OF HOUSE ACCESS.

-NEW CONCRETE FLOOR TO INTERIOR





RETAINED & REFURBISHED

-EXISTING WINDOWS TO BE REPLACED WITH NEW STEEL WINSOWS





0.	Description	Date
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Ą	DA- FURTHER INFORMATION SUBMISION	30.03.23

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PROJECT MOUNT LOFTY GOLF ESTATE

ADDRESS				
35 GOLF LII	NKS ROAD, STIRLIN	IG SA 5152		
Scale@A1	1:100			
Scale@A3	1:200			
Date:	30.03.23			
SHEET NAME				
PURFUMERY - EXISTING CONDITIONS &				
PROPOSE	D CHANGES			
SHEET NO.		REVISION:		
	TP21.3	А		
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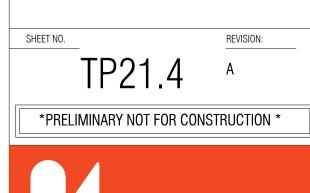
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PROJECT MOUNT LOFTY GOLF ESTATE

ADDRESS **35 GOLF LINKS ROAD, STIRLING SA 5152** Scale@A1 Scale@A3 Date: 30.03.23

SHEET NAME PERFUMERY - 3D VIEWS



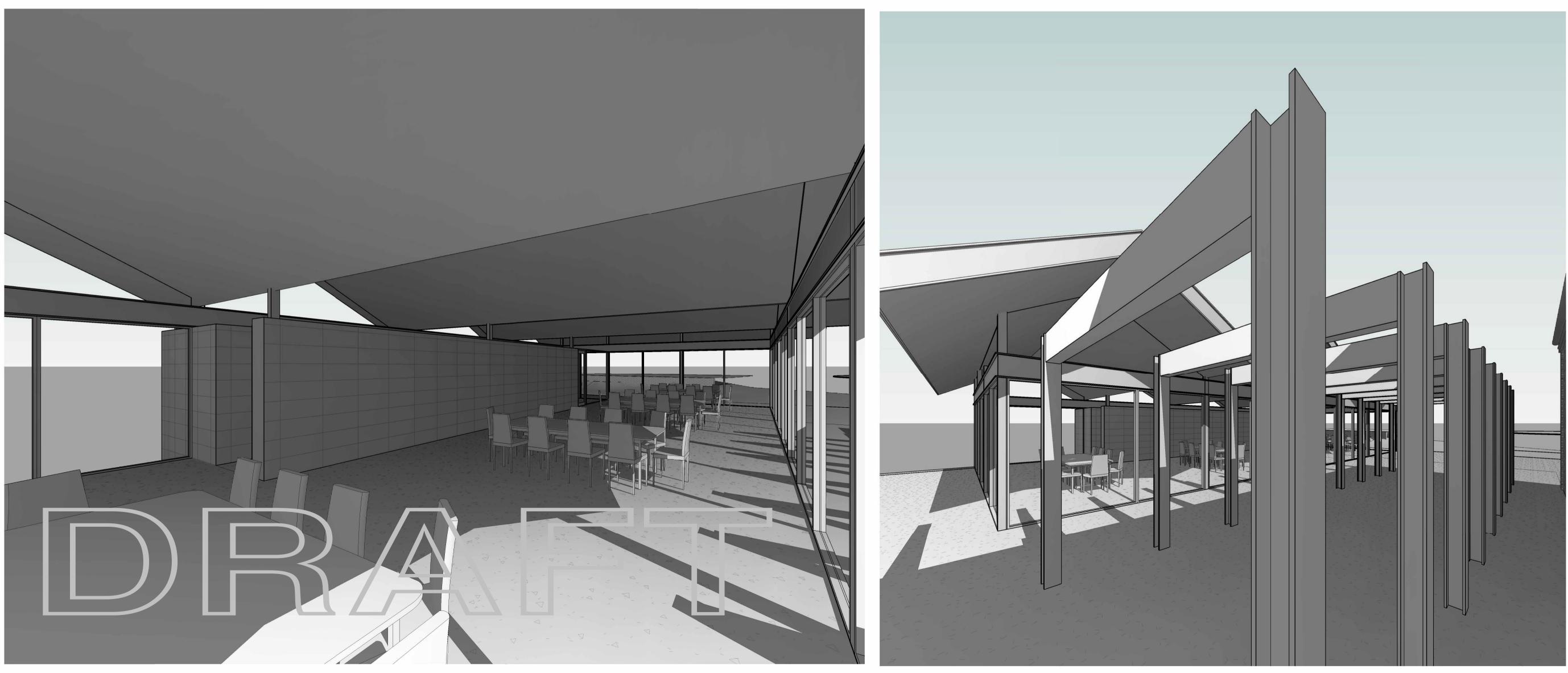




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than clain R AR the la liabil anyo witho draw ARC servi data	e these drawings and data, in whole or in part, for any purpose the project which is the subject of this agreement. The Client ag is against R ARCHITECTURE resulting in any way or from any u ges or reuse of the drawings and data for any other project by a CHITECTURE. In addition, the Client agrees, to the fullest exten aw, to indemnify and hold R ARCHITECTURE harmless from any change ne other that R ARCHITECTURE or from any reuse of the drawin- jut prior written consent of R ARCHITECTURE. By accepting and ings or other data on any form of electronic media generated ar HITECTURE, the Client agrees that all such drawings and data and ce of R ARCHITECTURE, who shall be deemed the author of the and shall retain all common law, statutory law and other rights, rights and Intellectual property.	grees to waive all nauthorised nyone other than t permitted by (damage, es made by gs and data 1 utilizing any id provided by R er instruments of drawings and
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Scal Date	e@A3 : 30.03.23	
	et name RFUMERY – 3D VIEWS	

SHEET NO. REVISION: TP21.4.1 *PRELIMINARY NOT FOR CONSTRUCTION *







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PROJECT MOUNT LOFTY GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152 Scale@A1

Scale@A3 Date: 30.03.23

SHEET NAME PERFUMERY - 3D VIEWS

SHEET NO. REVISION: TP21.4.2 B
*PRELIMINARY NOT FOR CONSTRUCTION *

archite HITECTURE ph: 98/

MATERIAL IMAGES





ST-1: SMOOTH CUT BASKET RANGE SANDSTONE

RF-1: STANDTINGSEAM METAL ROOF SHEETING - BLACK



WIN-1 & 2: POWDERCOAT METAL WINDOWS - BLACK



RF-2: METAL ROOF SHEETING & GUTTERS - TO MATCH EXISTING (COLORBOND MANOR RED OR SIMILAR)

INTERIOR CONCEPT IMAGES



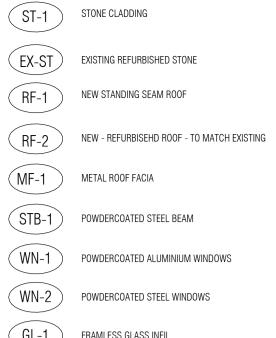
TIMBER CEILING LINING TO PERFUMERY

CUSTOM FREESTANDING DISPLAYS

STB-1 & GL-1: EXPOSED STEEL BEAM & FIXED FRAMELESS GLASS

CUSTUM FREESTANDING DISPLAYS & COUNTERS

FINISHES LEGEND



(STB-1 WN-1 WN-2	POWDERCOATED STEEL BEAM	
(GL-1	POWDERCOATED STEEL WINDOW: FRAMLESS GLASS INFIL	
	UL-1	FRAMILESS GLASS INFIL	
No.		Description RELIMINARY CONCEPT	Date
B	DA- FURTHER IN	NFORMATION SUBMISION	30.03.23
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SHEET NAME PERFUMERY - MATERIALS & PRECEDENTS			

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TP21.5	В
*PRELIMINARY NOT FOR CO	INSTRUCTION *



STAGE 01:

• UPGRADE ACCESS AND ROAD FROM OLD CAREY GULLY ROAD

PROVIDE NEW PARKING FOR ADJACENT TO

PERFUMERY DEMOLITION OF EXISTING GOLF CLUB AND ACCOMODATION.

No.	Description	Date
Ą	DA - FURTHER INFORMATION_DRAFT	08.09.22
В	DA - FURTHER INFORMATION SUBMISION	29.11.22
С	DA- FURTHER INFORMATION SUBMISION	30.03.23
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PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152 Scale@A1 \sim Scale@A3 Date: 30.03.23 \checkmark SHEET NAME STAGING PLANS

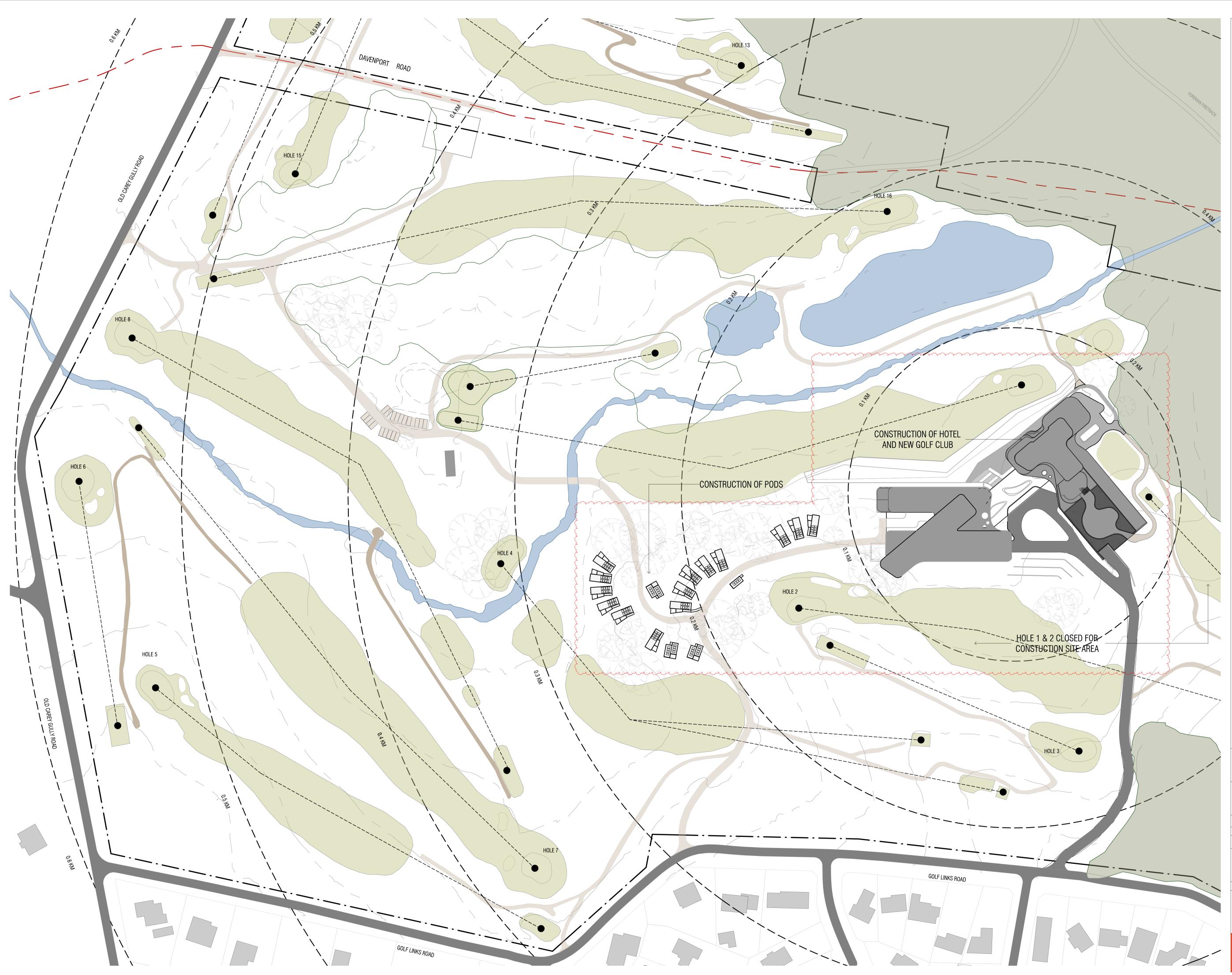
SHEET NO. TP22.1

PRELIMINARY NOT FOR CONSTRUCTION



REVISION:

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STAGE 02:

- SITE PREPERATION
- CONSTRUCTION OF PODS AND HOTEL / NEW BUILDINGS
- EXISTING ACCESS TO BE USED FOR
- CONSTRUCTION ONLY
- HOLES 1 AND 2 TO BE USED FOR CONSTRUCTION HUBS / PARKING ETC.

No.	Description	Date
١	DA - FURTHER INFORMATION_DRAFT	08.09.22
3	DA - FURTHER INFORMATION SUBMISION	29.11.22
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PROJECT MOUNT LOFT GOLF ESTATE

ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152 Scale@A1 Scale@A3 Date: 30.03.23 SHEET NAME STAGING PLANS



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REVISION:

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STAGE 03: • CONSTRUCT NEW FUNCTION PAVILION & REFURBISH PERFUMERY. • UPGRADE / REFURBISH GOLF COURSE

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}	DA - FURTHER INFORMATION SUBMISION	29.11.22
;	DA- FURTHER INFORMATION SUBMISION	30.03.23

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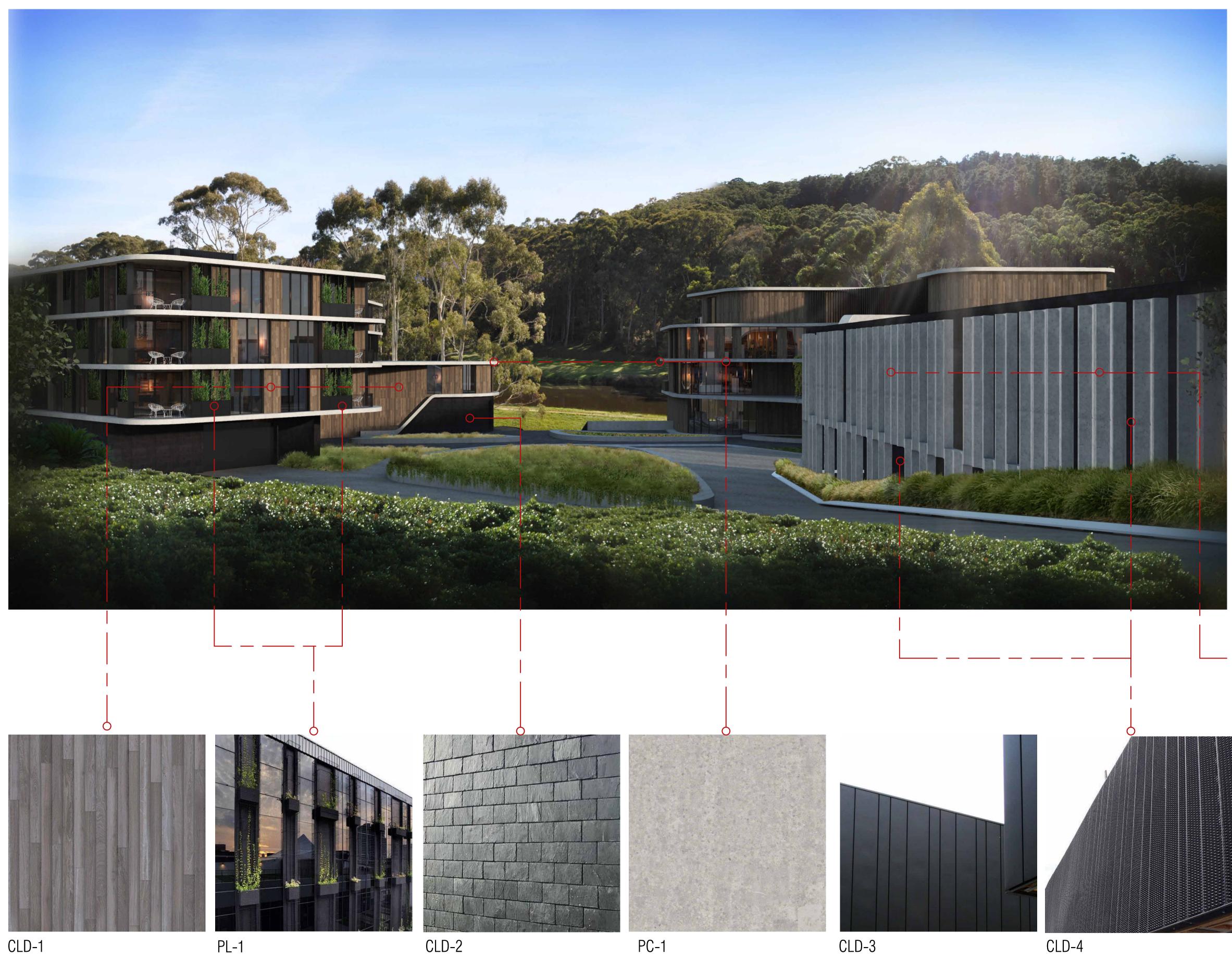
Date

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PROJECT MOUNT LOFT GOLF ESTATE







FINISHES	LEGEND
CON-1	INSITU CONCRETE FINISH
PC-1	CURVED PRECAST PANELS
PC-2	PRECAST PANELS
CLD-1	TIMBER CLADING
CLD-2	NATURAL SLATE CLADDING
CLD-3	METAL PANALISED CLADDING
CLD-4	PERFORATED METAL CLADDING
WN-1	POWDERCOATED ALUMINIUM WINDOWS
PL-1	PREFABRICATED METAL PLANTER WITH TRELLIS
BAL-1	METAL BLADE BALUSTRADE
MATERI	ALS & FINISHED SCHEDULE
WALLS	CON-1: INSITU CONCRETE SLAB EDGE AND WALLS COLOUR: NATURAL CONCRETE
	PC-1: CURVED PRECASTE CONCRETE PANELS COLOUR: NATURAL CONCRETE
	PC-2: PRECASTE CONCRETE PANELS COLOUR: NATURAL CONCRETE
	CLD-1: TIMBER CLADDING - MORTLOCK TRENDPLANK SHIPLAP CLADDING SPECIES: PACIFIC TEAK - BAL-19 COMPLIANT (OR EQUIVALENT) CLEAR OILED FINISH TO WHEATHER
	CLD-2: SLATE SHINGLE CLADDING. COLOUR: NATRUAL FINISH
	CLD-3: PANALISED METAL CLADDING. 300MM INTERLOCKING PROFILE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
	CLD-4: PERFORATED METAL CLADDING. COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
BAISED	PI _1·

RAISED PLANTERS	PL-1: PREFABRICATED ALUMINIUM PLANTER WITH WIRE TERLLIS COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
BALUSTRADE	BAL-1: STEEL BLADE BALUSTRADE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
WINDOWS	POWDERCOAT ALUMINIUM FRAME WINDOWS WITH GLAZING. COLOUR: BLACK (OR SIMILAR)
DOORS	CARPARK DOORS: PERFORATED METAL SECTIONAL GARAGE DOORS COLOUR: COLORBOND NIGHT SKY- BLACK (OR SIMILAR)



CON-1

No.	Description	Date
Ą	DA - FURTHER INFORMATION_DRAFT	08.09.22
3	DA - FURTHER INFORMATION SUBMISION	29.11.22
2	DA- FURTHER INFORMATION SUBMISION	30.03.23

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PROJECT MOUNT LOFT GOLF ESTATE

_____ ADDRESS 35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1

Scale@A3 Date: 30.03.23

SHEET NAME MATERIALS PALLET

SHEET NO. TP23

REVISION: С

