

HOTEL DEVELOPMENT SUMMARY	
85 GOLFLINKS RD, STIRLING, SA	
DEVELOPMENT SITE AREA	
<b>HOTEL</b>	
SUITES	56 SUITES
SERVICED APARTMENT - 2 BED	15 APARTMENTS
SERVICED APARTMENT - 3 BED	15 APARTMENTS
PENTHOUSE APARTMENTS	2 APARTMENTS
TOTAL	88 UNITS
<b>PODS</b>	
TOTAL	17 UNITS - 1 BEDROOM
<b>PARKING</b>	
CAR SPACES - MAIN BUILDING	200 SPACES
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES

AREA SUMMARY	
AREA TYPE	AREA
<b>FACILITIES</b>	
BACK OF HOUSE / SERV - LG	1039 m <sup>2</sup>
BACK OF HOUSE / SERV - LEVEL 1	233 m <sup>2</sup>
GROUND FLOOR - F&B	323 m <sup>2</sup>
GROUND FLOOR - GOLF	429 m <sup>2</sup>
LEVEL 1	1393 m <sup>2</sup>
LEVEL 2	570 m <sup>2</sup>
LEVEL 3	447 m <sup>2</sup>
LOWER GROUND	957 m <sup>2</sup>
SERVICES CORE-L3	54 m <sup>2</sup>
FACILITIES CARPARK	5426 m <sup>2</sup>
FIRST FLOOR CARPARK	1461 m <sup>2</sup>
GROUND FLOOR CARPARK	1886 m <sup>2</sup>
LOADING BAY	67 m <sup>2</sup>
HOTEL	3413 m <sup>2</sup>
<b>HOTEL</b>	
GROUND FLOOR	1095 m <sup>2</sup>
LEVEL 1	2334 m <sup>2</sup>
LEVEL 2	1659 m <sup>2</sup>
LEVEL 3	1921 m <sup>2</sup>
LOWER GROUND	1149 m <sup>2</sup>
HOTEL CARPARK	8157 m <sup>2</sup>
<b>HOTEL CARPARK</b>	
HOTEL CARPARK	1352 m <sup>2</sup>
LOWER GROUND CARPARK	1515 m <sup>2</sup>
	2867 m <sup>2</sup>
Grand total: 19	19864 m <sup>2</sup>

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
B	DA SUBMISSION	01.12.21
C	DA - FURTHER INFORMATION DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISSION	29.11.22
E	DA - FURTHER INFORMATION SUBMISSION	30.03.23

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**PROJECT**  
**MOUNT LOFT GOLF ESTATE**

**ADDRESS**  
**35 GOLF LINKS ROAD, STIRLING SA 5152**

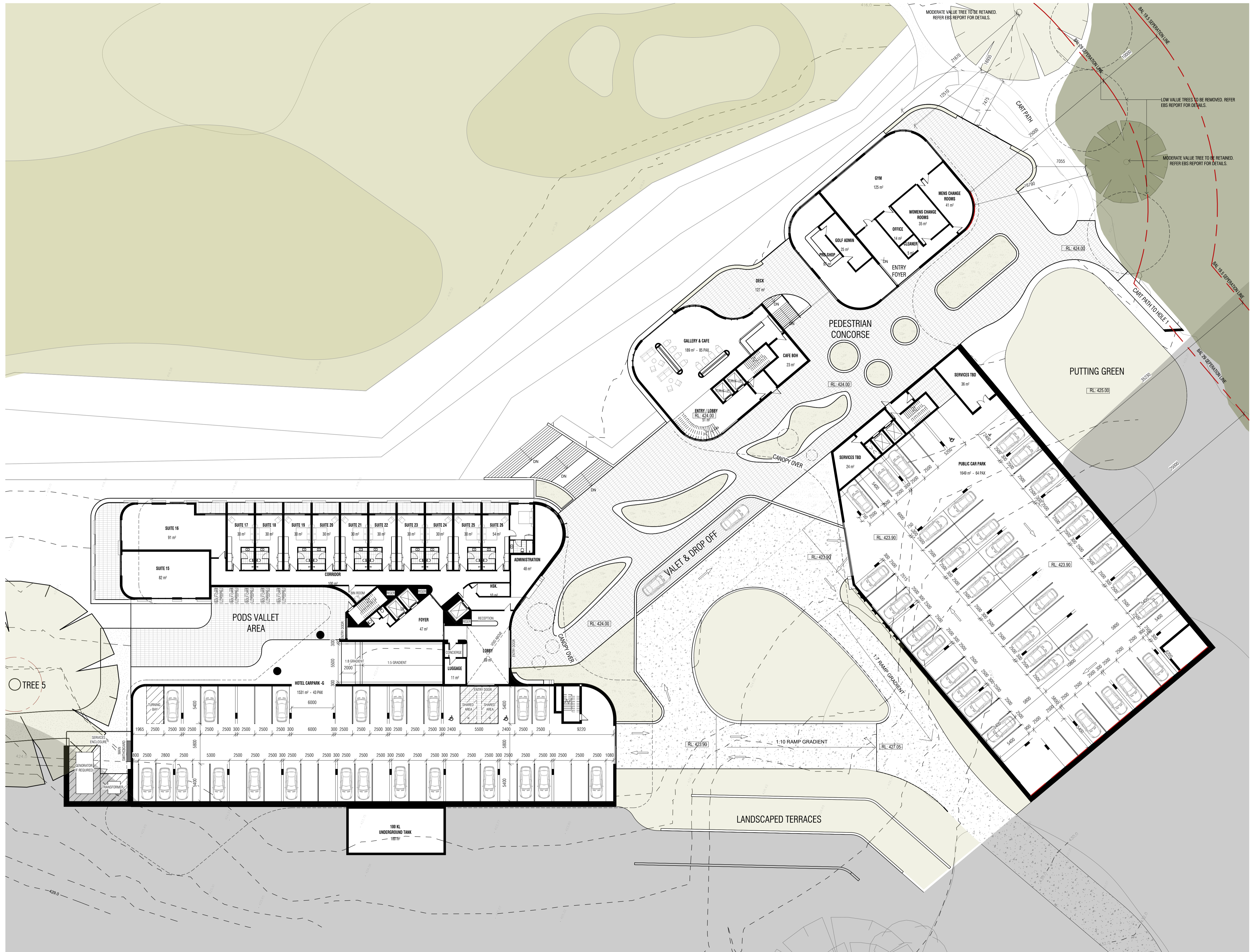
Scale@A1  
 Scale@A3  
 Date: 30.03.23

**SHEET NAME**  
**LOWER GROUND FLOOR PLAN**

**SHEET NO.**      **REVISION:**  
 TP02      E

**\*PRELIMINARY NOT FOR CONSTRUCTION\***





HOTEL DEVELOPMENT SUMMARY	
35 GOLFLINKS RD, STIRLING, SA	
DEVELOPMENT SITE AREA	
<b>HOTEL</b>	
SUITES	56 SUITES
SERVICED APARTMENT - 2 BED	15 APARTMENTS
SERVICED APARTMENT - 3 BED	15 APARTMENTS
PENTHOUSE APARTMENTS	2 APARTMENTS
TOTAL	88 UNITS
<b>PODS</b>	
TOTAL	17 UNITS - 1 BEDROOM
<b>PARKING</b>	
CAR SPACES - MAIN BUILDING	200 SPACES
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES
<b>AREA SUMMARY</b>	
AREA TYPE	AREA
<b>FACILITIES</b>	
BACK OF HOUSE / SERV - LG	1039 m <sup>2</sup>
BACK OF HOUSE / SERV - LVL 1	233 m <sup>2</sup>
GROUND FLOOR - F&B	323 m <sup>2</sup>
GROUND FLOOR - GOLF	429 m <sup>2</sup>
LEVEL 1	1393 m <sup>2</sup>
LEVEL 2	570 m <sup>2</sup>
LEVEL 3	447 m <sup>2</sup>
LOWER GROUND	937 m <sup>2</sup>
SERVICES CORE-L3	54 m <sup>2</sup>
	5426 m <sup>2</sup>
<b>FACILITIES CARPARK</b>	
FIRST FLOOR CARPARK	1461 m <sup>2</sup>
GROUND FLOOR CARPARK	1886 m <sup>2</sup>
LOADING BAY	67 m <sup>2</sup>
	3413 m <sup>2</sup>
<b>HOTEL</b>	
GROUND FLOOR	1095 m <sup>2</sup>
LEVEL 1	2334 m <sup>2</sup>
LEVEL 2	1659 m <sup>2</sup>
LEVEL 3	1921 m <sup>2</sup>
LOWER GROUND	1149 m <sup>2</sup>
	8157 m <sup>2</sup>
<b>HOTEL CARPARK</b>	
HOTEL CARPARK	1332 m <sup>2</sup>
LOWER GROUND CARPARK	1515 m <sup>2</sup>
	2867 m <sup>2</sup>
Grand total:	19 19864 m <sup>2</sup>

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
B	DA SUBMISSION	01.12.21
C	DA - FURTHER INFORMATION, DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISSION	29.11.22
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**PROJECT**  
MOUNT LOFT GOLF ESTATE

**ADDRESS**  
35 GOLF LINKS ROAD, STIRLING SA 5152

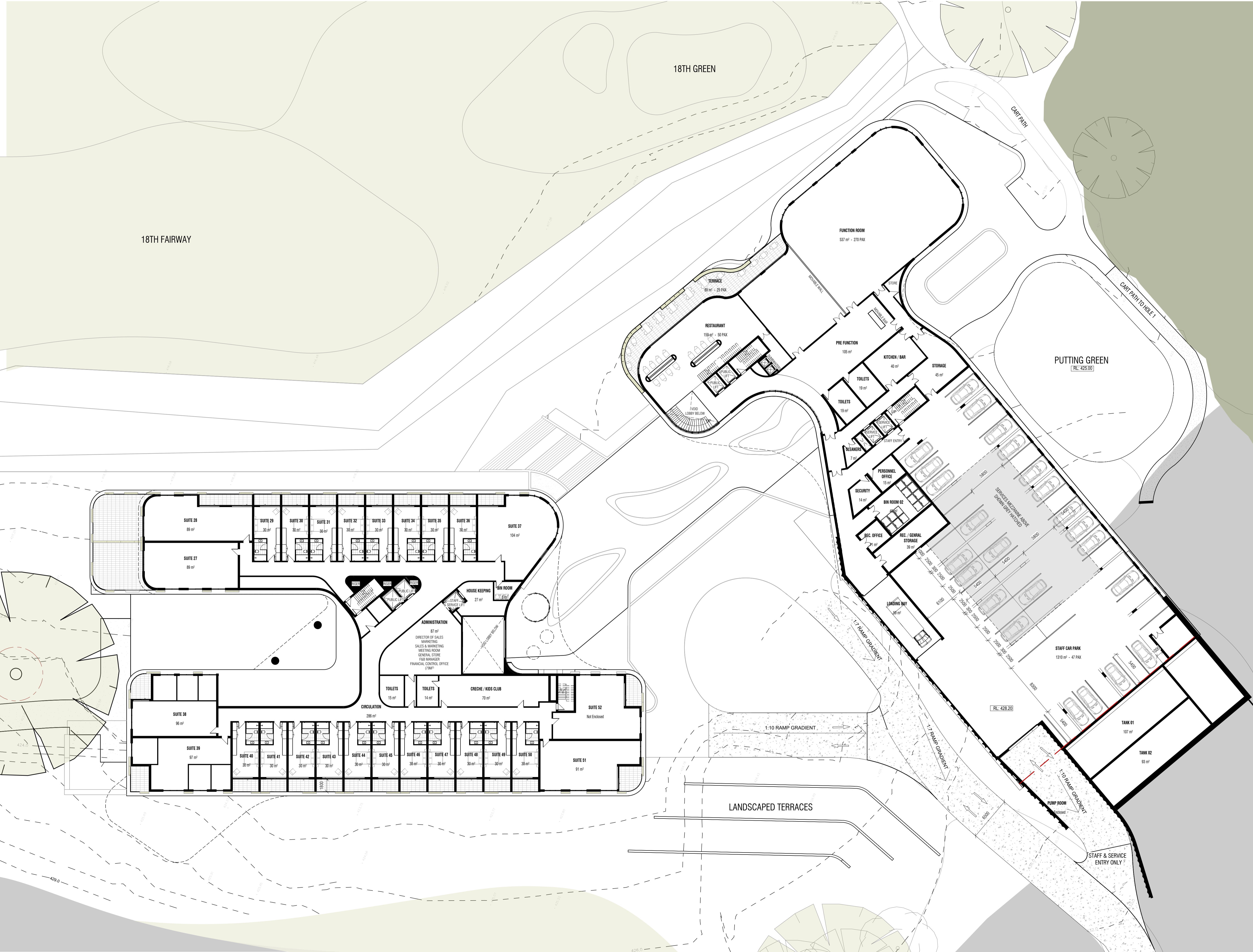
Scale@A1  
Scale@A3  
Date: 30.03.23

**SHEET NAME**  
GROUND FLOOR PLAN

SHEET NO. REVISION:  
TP03 E

**\*PRELIMINARY NOT FOR CONSTRUCTION\***





HOTEL DEVELOPMENT SUMMARY	
85 GOLFLINKS RD, STIRLING, SA	
DEVELOPMENT SITE AREA	
<b>HOTEL</b>	
SUITES	56 SUITES
SERVICED APARTMENT - 2 BED	15 APARTMENTS
SERVICED APARTMENT - 3 BED	15 APARTMENTS
PENTHOUSE APARTMENTS	2 APARTMENTS
TOTAL	88 UNITS
<b>PODS</b>	
TOTAL	17 UNITS - 1 BEDROOM
<b>PARKING</b>	
CAR SPACES - MAIN BUILDING	200 SPACES
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES

AREA SUMMARY	
AREA TYPE	AREA
<b>FACILITIES</b>	
BACK OF HOUSE / SERV - LG	1039 m <sup>2</sup>
BACK OF HOUSE / SERV - LEVEL 1	233 m <sup>2</sup>
GROUND FLOOR - F&B	325 m <sup>2</sup>
GROUND FLOOR - GOLF	429 m <sup>2</sup>
LEVEL 1	1393 m <sup>2</sup>
LEVEL 2	570 m <sup>2</sup>
LEVEL 3	447 m <sup>2</sup>
LOWER GROUND	957 m <sup>2</sup>
SERVICES CORE-L3	54 m <sup>2</sup>
FACILITIES CARPARK	5426 m <sup>2</sup>
FIRST FLOOR CARPARK	1461 m <sup>2</sup>
GROUND FLOOR CARPARK	1886 m <sup>2</sup>
LOADING BAY	67 m <sup>2</sup>
TOTAL	3413 m <sup>2</sup>
<b>HOTEL</b>	
GROUND FLOOR	1095 m <sup>2</sup>
LEVEL 1	2334 m <sup>2</sup>
LEVEL 2	1659 m <sup>2</sup>
LEVEL 3	1921 m <sup>2</sup>
LOWER GROUND	1149 m <sup>2</sup>
TOTAL	8157 m <sup>2</sup>
<b>HOTEL CARPARK</b>	
HOTEL CARPARK	1352 m <sup>2</sup>
LOWER GROUND CARPARK	1515 m <sup>2</sup>
TOTAL	2867 m <sup>2</sup>
Grand total:	19 19864 m <sup>2</sup>

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**PROJECT**  
**MOUNT LOFT GOLF ESTATE**  
 ADDRESS:  
**35 GOLF LINKS ROAD, STIRLING SA 5152**

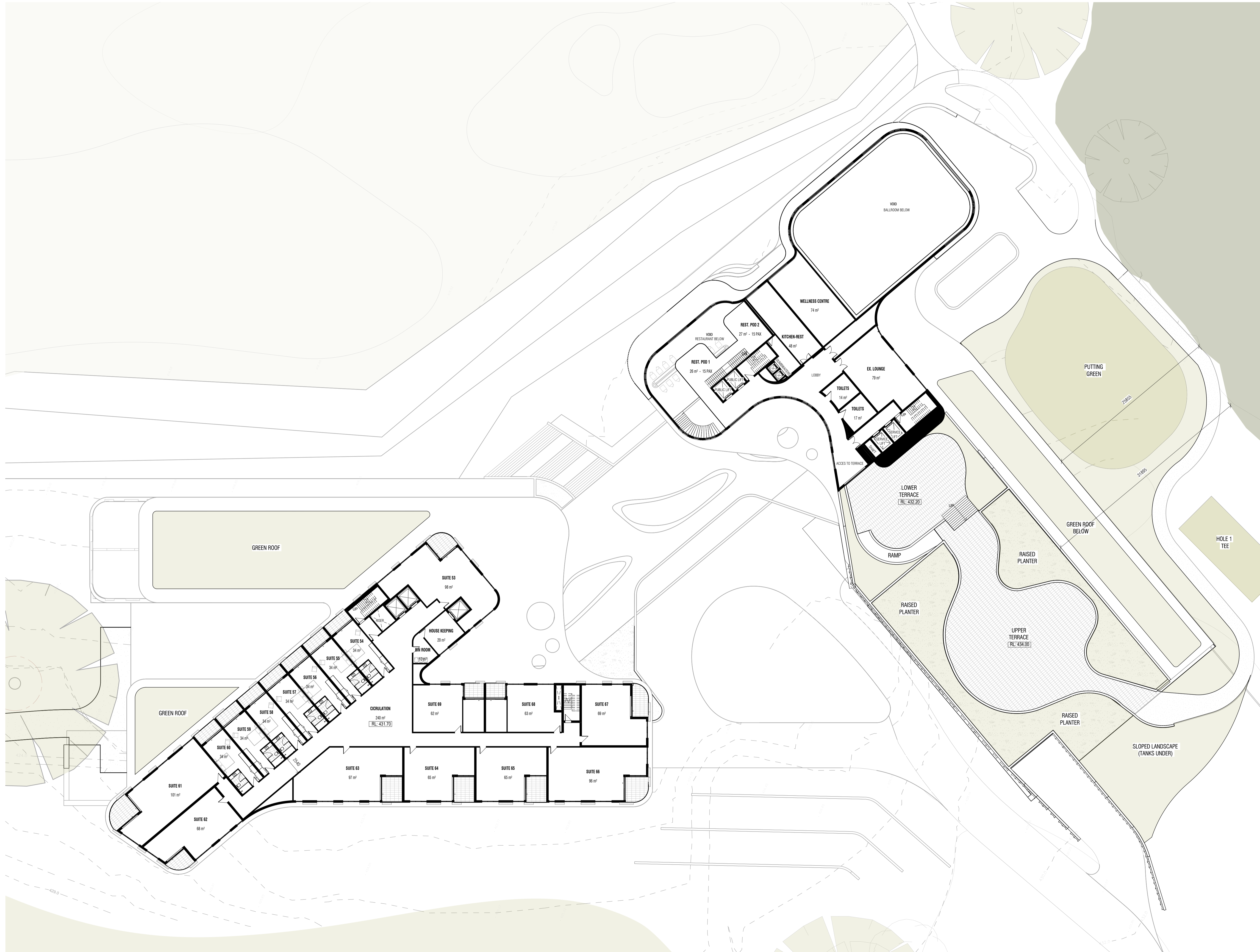
Scale@A1  
 Scale@A3  
 Date: 30.03.23

SHEET NAME  
**LEVEL 1 PLAN**

SHEET NO. **TP04** REVISION: **E**

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HOTEL DEVELOPMENT SUMMARY	
85 GOLFLINKS RD, STIRLING, SA	
DEVELOPMENT SITE AREA	
<b>HOTEL</b>	
SUITES	56 SUITES
SERVICED APARTMENT - 2 BED	15 APARTMENTS
SERVICED APARTMENT - 3 BED	15 APARTMENTS
PENTHOUSE APARTMENTS	2 APARTMENTS
TOTAL	88 UNITS
<b>PODS</b>	
TOTAL	17 UNITS - 1 BEDROOM
<b>PARKING</b>	
CAR SPACES - MAIN BUILDING	200 SPACES
CAR SPACES - PERFORMERY OVERFLOW	20 SPACES

AREA SUMMARY	
AREA TYPE	AREA
<b>FACILITIES</b>	
BACK OF HOUSE / SERV - LG	1039 m <sup>2</sup>
BACK OF HOUSE / SERV - LEVEL 1	233 m <sup>2</sup>
GROUND FLOOR - F&B	323 m <sup>2</sup>
GROUND FLOOR - GOLF	429 m <sup>2</sup>
LEVEL 1	1393 m <sup>2</sup>
LEVEL 2	570 m <sup>2</sup>
LEVEL 3	447 m <sup>2</sup>
LOWER GROUND	937 m <sup>2</sup>
SERVICES CORE-L3	54 m <sup>2</sup>
FACILITIES CARPARK	5426 m <sup>2</sup>
FIRST FLOOR CARPARK	1461 m <sup>2</sup>
GROUND FLOOR CARPARK	1886 m <sup>2</sup>
LOADING BAY	67 m <sup>2</sup>
TOTAL	3413 m <sup>2</sup>
<b>HOTEL</b>	
GROUND FLOOR	1095 m <sup>2</sup>
LEVEL 1	2334 m <sup>2</sup>
LEVEL 2	1639 m <sup>2</sup>
LEVEL 3	1921 m <sup>2</sup>
LOWER GROUND	1149 m <sup>2</sup>
TOTAL	8157 m <sup>2</sup>
<b>HOTEL CARPARK</b>	
HOTEL CARPARK	1332 m <sup>2</sup>
LOWER GROUND CARPARK	1515 m <sup>2</sup>
TOTAL	2867 m <sup>2</sup>
Grand total: 19	19864 m <sup>2</sup>

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**PROJECT**  
**MOUNT LOFT GOLF ESTATE**

**ADDRESS**  
**35 GOLF LINKS ROAD, STIRLING SA 5152**

Scale@A1  
 Scale@A3

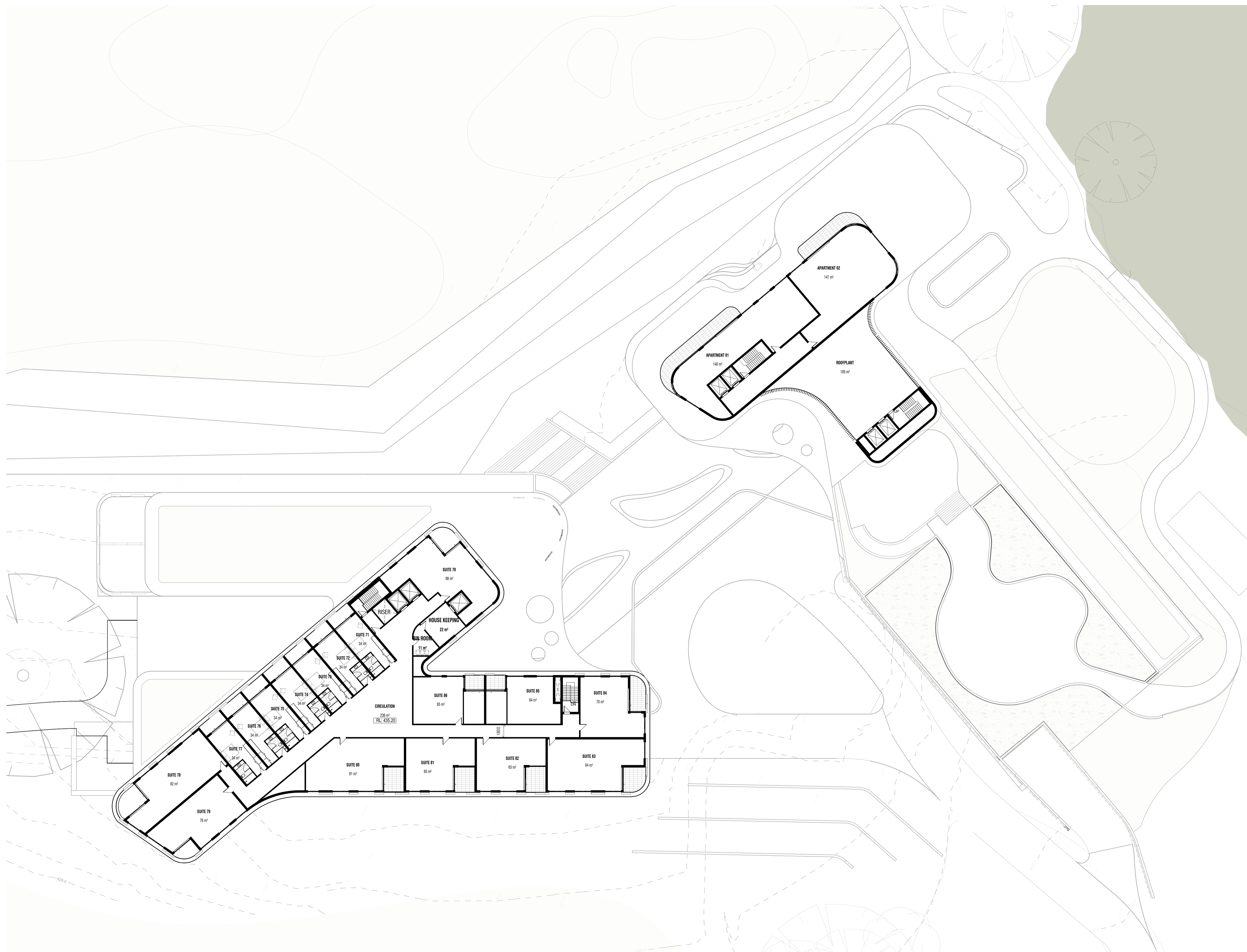
Date: 30.03.23

**SHEET NAME**  
**LEVEL 2 PLAN**

SHEET NO. REVISION:  
 TP05 E

**\*PRELIMINARY NOT FOR CONSTRUCTION\***





HOTEL DEVELOPMENT SUMMARY	
85 GOLFLINKS RD, STIRLING, SA	
DEVELOPMENT SITE AREA	
<b>HOTEL</b>	
SUITES	56 SUITES
SERVICED APARTMENT - 2 BED	15 APARTMENTS
SERVICED APARTMENT - 3 BED	15 APARTMENTS
PENTHOUSE APARTMENTS	2 APARTMENTS
TOTAL	88 UNITS
<b>PODS</b>	
TOTAL	17 UNITS - 1 BEDROOM
<b>PARKING</b>	
CAR SPACES - MAIN BUILDING	200 SPACES
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES

AREA SUMMARY	
AREA TYPE	AREA
<b>FACILITIES</b>	
BACK OF HOUSE / SERV. - LG	1039 m²
BACK OF HOUSE / SERV. - LEVEL 1	233 m²
GROUND FLOOR - F&B	323 m²
GROUND FLOOR- GOLF	429 m²
LEVEL 1	1393 m²
LEVEL 2	570 m²
LEVEL 3	447 m²
LOWER GROUND	937 m²
SERVICES CORE-L3	54 m²
	5426 m²
<b>FACILITIES CARPARK</b>	
FIRST FLOOR CARPARK	1461 m²
GROUND FLOOR CARPARK	1886 m²
LOADING BAY	67 m²
	3413 m²
<b>HOTEL</b>	
GROUND FLOOR	1095 m²
LEVEL 1	2334 m²
LEVEL 2	1659 m²
LEVEL 3	1921 m²
LOWER GROUND	1149 m²
	8157 m²
<b>HOTEL CARPARK</b>	
HOTEL CARPARK	1352 m²
LOWER GROUND CARPARK	1515 m²
	2867 m²
Grand total: 19	19864 m²

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
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**PROJECT**  
MOUNT LOFT GOLF ESTATE

**ADDRESS**  
35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1  
Scale@A3  
Date: 30.03.23

**SHEET NAME**  
LEVEL 3 PLAN

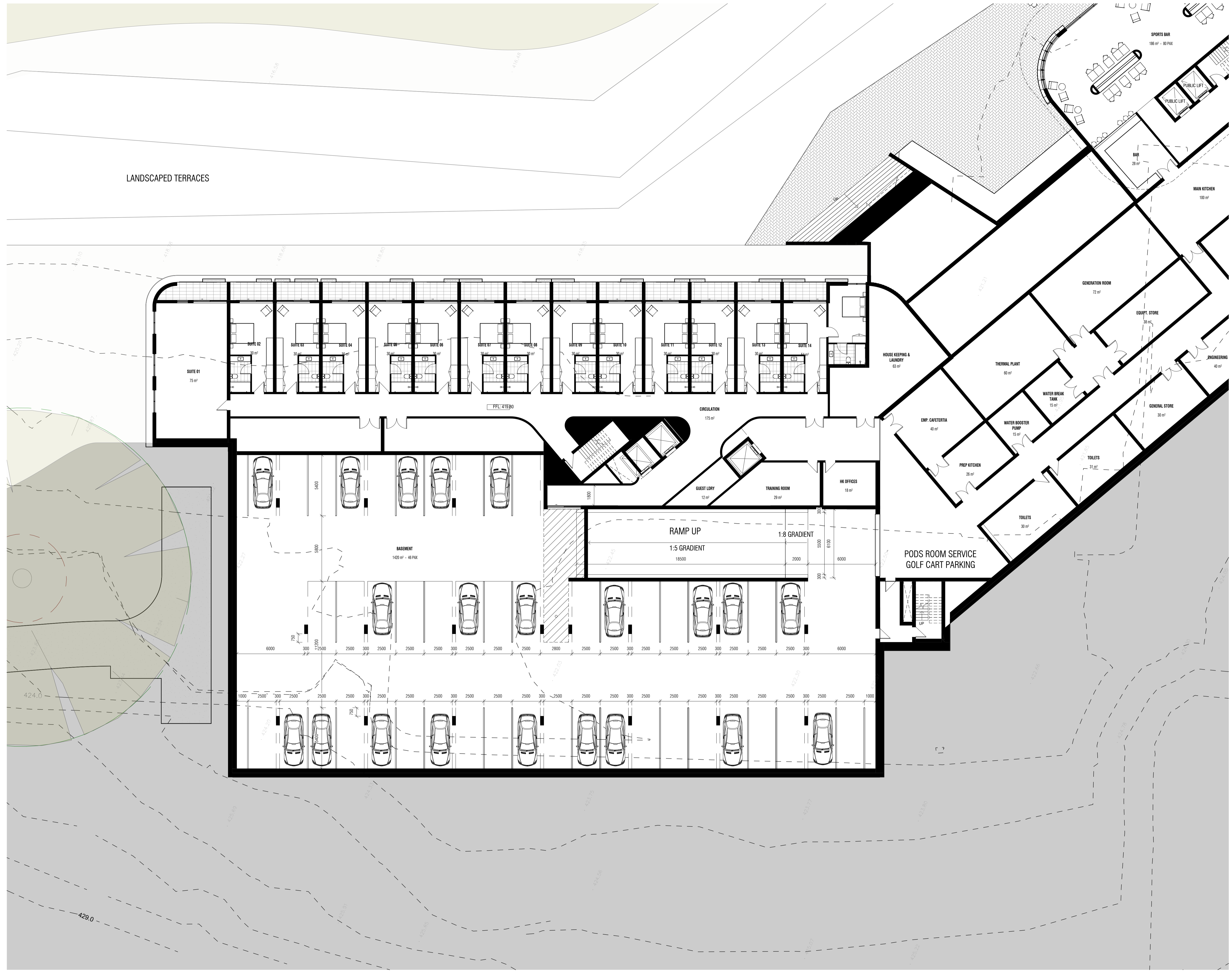
SHEET NO. REVISION:  
E

**TP06**

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LANDSCAPED TERRACES



HOTEL DEVELOPMENT SUMMARY	
35 GOLFLINKS RD, STIRLING, SA	
DEVELOPMENT SITE AREA	
HOTEL	
SUITES	56 SUITES
SERVICED APARTMENT - 2 BED	15 APARTMENTS
SERVICED APARTMENT - 3 BED	15 APARTMENTS
PENTHOUSE APARTMENTS	2 APARTMENTS
TOTAL	88 UNITS
PODS	
TOTAL	17 UNITS - 1 BEDROOM
PARKING	
CAR SPACES - MAIN BUILDING	200 SPACES
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES

AREA SUMMARY	
AREA TYPE	AREA
FACILITIES	
BACK OF HOUSE / SERV - LG	1039 m <sup>2</sup>
BACK OF HOUSE / SERV - LEVEL 1	233 m <sup>2</sup>
GROUND FLOOR - F&B	323 m <sup>2</sup>
GROUND FLOOR - GOLF	429 m <sup>2</sup>
LEVEL 1	1393 m <sup>2</sup>
LEVEL 2	570 m <sup>2</sup>
LEVEL 3	447 m <sup>2</sup>
LOWER GROUND	937 m <sup>2</sup>
SERVICES CORE-L3	54 m <sup>2</sup>
SERVICES CORE-L3	5426 m <sup>2</sup>
FACILITIES CARPARK	
FIRST FLOOR CARPARK	1461 m <sup>2</sup>
GROUND FLOOR CARPARK	1886 m <sup>2</sup>
LOADING BAY	67 m <sup>2</sup>
TOTAL	3413 m <sup>2</sup>
HOTEL	
GROUND FLOOR	1095 m <sup>2</sup>
LEVEL 1	2334 m <sup>2</sup>
LEVEL 2	1639 m <sup>2</sup>
LEVEL 3	1921 m <sup>2</sup>
LOWER GROUND	1149 m <sup>2</sup>
TOTAL	8157 m <sup>2</sup>
HOTEL CARPARK	
FIRST FLOOR CARPARK	1332 m <sup>2</sup>
LOWER GROUND CARPARK	1515 m <sup>2</sup>
TOTAL	2847 m <sup>2</sup>
Grand total:	19 19864 m <sup>2</sup>

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**PROJECT**  
MOUNT LOFT GOLF ESTATE

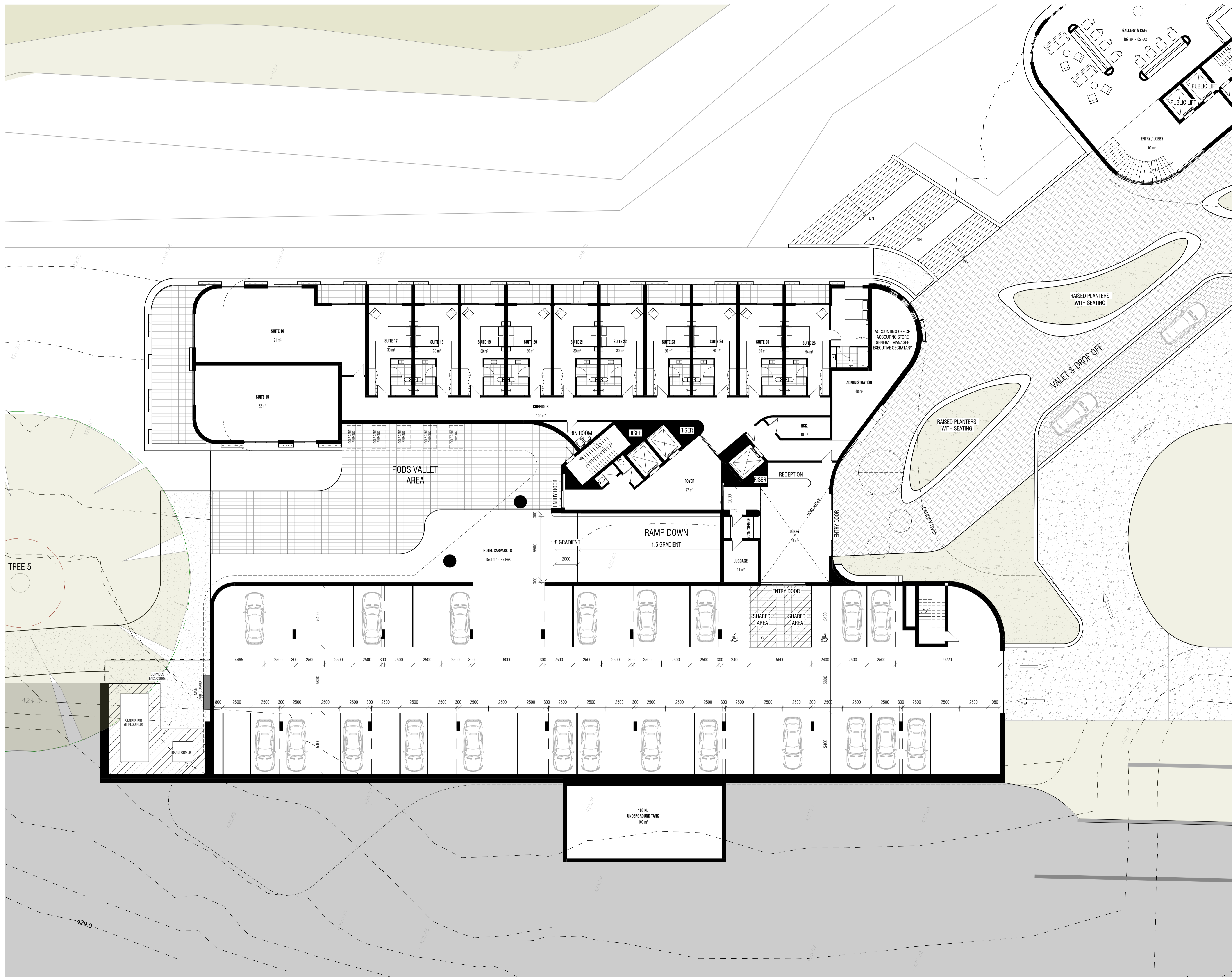
**ADDRESS**  
35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1  
Scale@A3  
Date: 30.03.23

**SHEET NAME**  
HOTEL\_LOWER GROUND FLOOR PLAN

**SHEET NO.** TP07 **REVISION:** E





HOTEL DEVELOPMENT SUMMARY	
35 GOLF LINKS RD, STIRLING, SA.	
DEVELOPMENT SITE AREA	
<b>HOTEL</b>	
SUITES	56 SUITES
SERVICED APARTMENT - 2 BED	15 APARTMENTS
SERVICED APARTMENT - 3 BED	15 APARTMENTS
PENTHOUSE APARTMENTS	2 APARTMENTS
<b>TOTAL</b>	<b>88 UNITS</b>
<b>PODS</b>	
<b>TOTAL</b>	<b>17 UNITS - 1 BEDROOM</b>
<b>PARKING</b>	
CAR SPACES - MAIN BUILDING	200 SPACES
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES

AREA SUMMARY	
AREA TYPE	AREA
<b>FACILITIES</b>	
BACK OF HOUSE / SERV. - LG	1039 m²
BACK OF HOUSE / SERV. - LEVEL 1	233 m²
GROUND FLOOR - F&B	323 m²
GROUND FLOOR - GOLF	429 m²
LEVEL 1	1393 m²
LEVEL 2	570 m²
LEVEL 3	447 m²
LOWER GROUND	54 m²
SERVICES CORE-L3	5426 m²
<b>FACILITIES CARPARK</b>	
FIRST FLOOR CARPARK	1461 m²
GROUND FLOOR CARPARK	1886 m²
LOADING BAY	67 m²
	3413 m²
<b>HOTEL</b>	
GROUND FLOOR	1095 m²
LEVEL 1	2334 m²
LEVEL 2	1639 m²
LEVEL 3	1921 m²
LOWER GROUND	1149 m²
	8157 m²
<b>HOTEL CARPARK</b>	
HOTEL CARPARK	1332 m²
LOWER GROUND CARPARK	1515 m²
	2867 m²
Grand total: 19	19864 m²

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D	DA - FURTHER INFORMATION SUBMISSION	29.11.22
E	DA - FURTHER INFORMATION SUBMISSION	30.03.23

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**PROJECT**  
**MOUNT LOFT GOLF ESTATE**  
 ADDRESS  
**35 GOLF LINKS ROAD, STIRLING SA 5152**

Scale@A1  
 Scale@A3  
 Date: 30.03.23

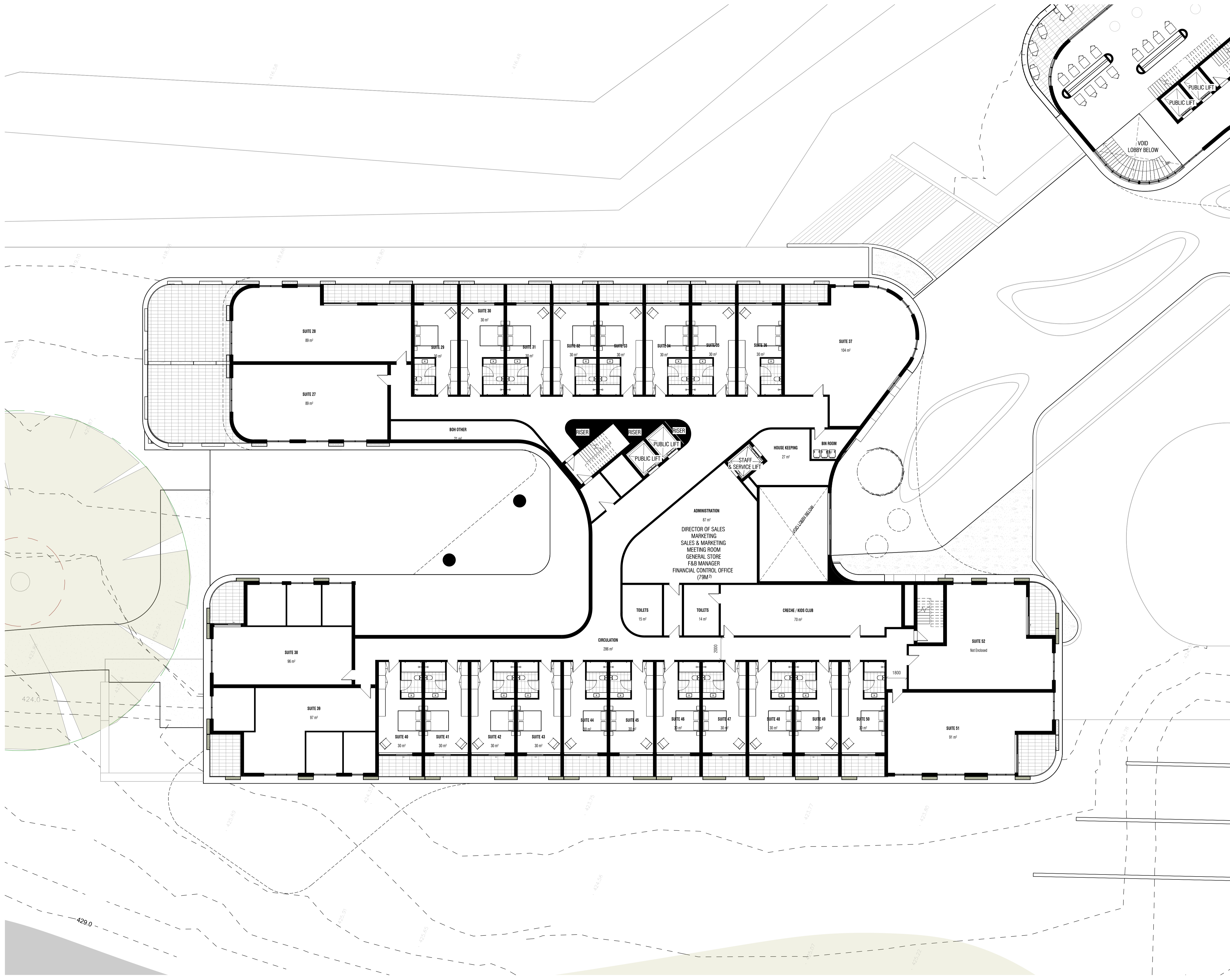
SHEET NAME  
**HOTEL\_GROUND FLOOR PLAN**

SHEET NO. REVISION:  
**TP08 E**

**\*PRELIMINARY NOT FOR CONSTRUCTION\***







HOTEL DEVELOPMENT SUMMARY	
35 GOLFLINKS RD, STIRLING, SA.	
DEVELOPMENT SITE AREA	
<b>HOTEL</b>	
SUITES	56 SUITES
SERVICED APARTMENT - 2 BED	15 APARTMENTS
SERVICED APARTMENT - 3 BED	15 APARTMENTS
PENTHOUSE APARTMENTS	2 APARTMENTS
<b>TOTAL</b>	<b>88 UNITS</b>
<b>PODS</b>	
<b>TOTAL</b>	<b>17 UNITS - 1 BEDROOM</b>
<b>PARKING</b>	
CAR SPACES - MAIN BUILDING	200 SPACES
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES

AREA SUMMARY	
AREA TYPE	AREA
<b>FACILITIES</b>	
BACK OF HOUSE / SERV - LG	1039 m²
BACK OF HOUSE / SERV - LEVEL 1	233 m²
GROUND FLOOR - F&B	323 m²
GROUND FLOOR - GOLF	429 m²
LEVEL 1	1393 m²
LEVEL 2	570 m²
LEVEL 3	447 m²
LOWER GROUND	957 m²
SERVICES CORE-L3	54 m²
<b>FACILITIES CARPARK</b>	<b>5426 m²</b>
FIRST FLOOR CARPARK	1461 m²
GROUND FLOOR CARPARK	1886 m²
LOADING BAY	67 m²
<b>TOTAL</b>	<b>3413 m²</b>
<b>HOTEL</b>	
GROUND FLOOR	1095 m²
LEVEL 1	2334 m²
LEVEL 2	1659 m²
LEVEL 3	1921 m²
LOWER GROUND	1149 m²
<b>TOTAL</b>	<b>8157 m²</b>
<b>HOTEL CARPARK</b>	
HOTEL CARPARK	1352 m²
LOWER GROUND CARPARK	1515 m²
<b>TOTAL</b>	<b>2867 m²</b>
<b>Grand total: 19</b>	<b>19864 m²</b>

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
B	DA SUBMISSION	01.12.21
C	DA - FURTHER INFORMATION, DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISSION	29.11.22
E	DA - FURTHER INFORMATION SUBMISSION	30.03.23

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**PROJECT**  
**MOUNT LOFT GOLF ESTATE**

**ADDRESS**  
**35 GOLF LINKS ROAD, STIRLING SA 5152**

Scale@A1  
 Scale@A3  
 Date: 30.03.23

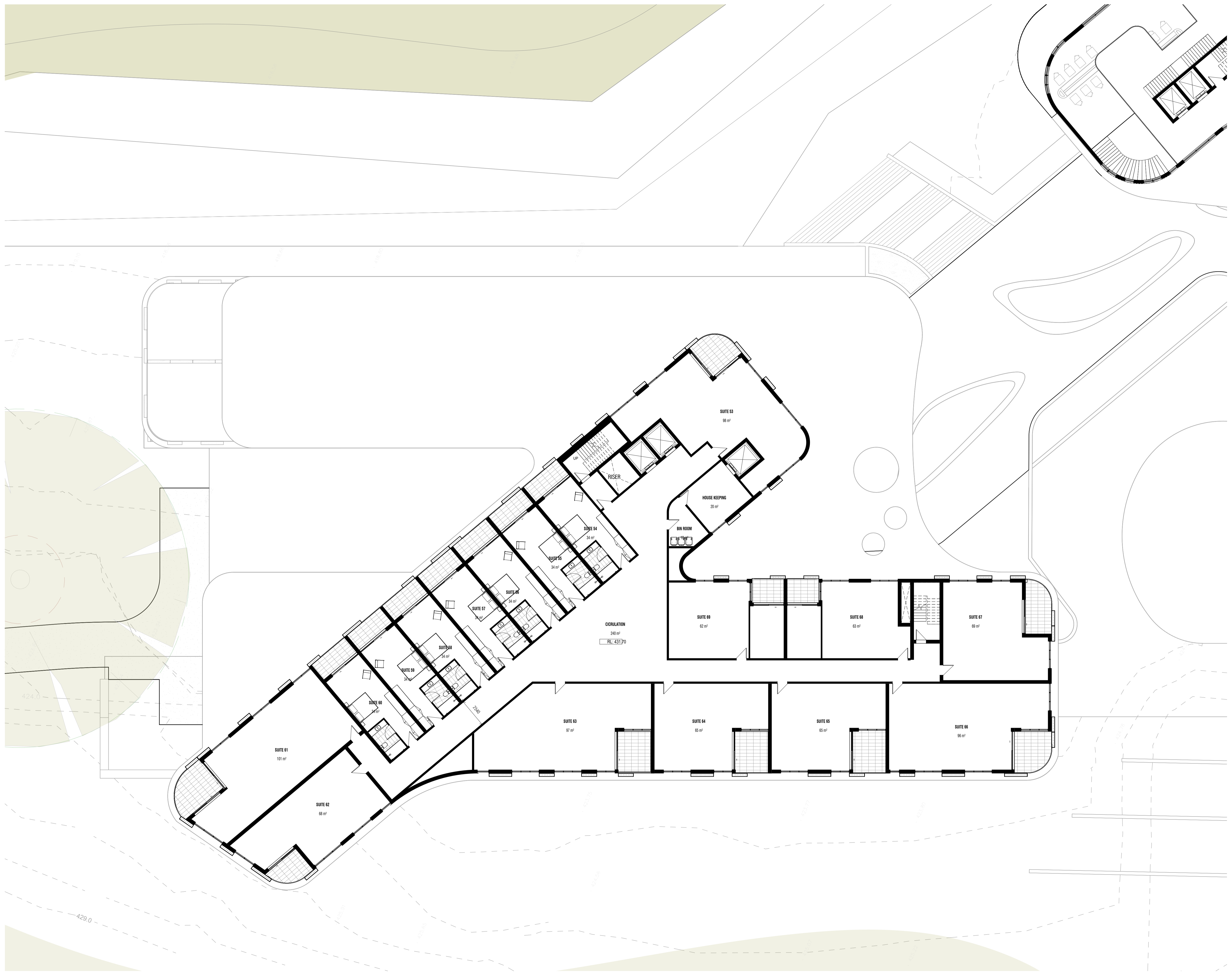
**SHEET NAME**  
**HOTEL\_LEVEL 1 PLAN**

**SHEET NO.**      **REVISION:**  
 TP09      E

**\*PRELIMINARY NOT FOR CONSTRUCTION\***







HOTEL DEVELOPMENT SUMMARY	
35 GOLF LINKS RD, STIRLING, SA	
DEVELOPMENT SITE AREA	
<b>HOTEL</b>	
SUITES	56 SUITES
SERVICED APARTMENT - 2 BED	15 APARTMENTS
SERVICED APARTMENT - 3 BED	15 APARTMENTS
PENTHOUSE APARTMENTS	2 APARTMENTS
<b>TOTAL</b>	<b>88 UNITS</b>
<b>PODS</b>	
<b>TOTAL</b>	<b>17 UNITS - 1 BEDROOM</b>
<b>PARKING</b>	
CAR SPACES - MAIN BUILDING	200 SPACES
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES

AREA SUMMARY	
AREA TYPE	AREA
<b>FACILITIES</b>	
BACK OF HOUSE / SERV - LG	1039 m <sup>2</sup>
BACK OF HOUSE / SERV - LEVEL 1	233 m <sup>2</sup>
GROUND FLOOR - F&B	323 m <sup>2</sup>
GROUND FLOOR - GOLF	429 m <sup>2</sup>
LEVEL 1	1393 m <sup>2</sup>
LEVEL 2	570 m <sup>2</sup>
LEVEL 3	447 m <sup>2</sup>
LOWER GROUND	937 m <sup>2</sup>
SERVICES CORE-L3	54 m <sup>2</sup>
	5426 m <sup>2</sup>
<b>FACILITIES CARPARK</b>	
FIRST FLOOR CARPARK	1461 m <sup>2</sup>
GROUND FLOOR CARPARK	1886 m <sup>2</sup>
LOADING BAY	67 m <sup>2</sup>
	3413 m <sup>2</sup>
<b>HOTEL</b>	
GROUND FLOOR	1095 m <sup>2</sup>
LEVEL 1	2334 m <sup>2</sup>
LEVEL 2	1639 m <sup>2</sup>
LEVEL 3	1921 m <sup>2</sup>
LOWER GROUND	1149 m <sup>2</sup>
	8157 m <sup>2</sup>
<b>HOTEL CARPARK</b>	
HOTEL CARPARK	1332 m <sup>2</sup>
LOWER GROUND CARPARK	1515 m <sup>2</sup>
	2867 m <sup>2</sup>
<b>Grand total: 19</b>	<b>19864 m<sup>2</sup></b>

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
B	DA SUBMISSION	01.12.21
C	DA - FURTHER INFORMATION DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISSION	29.11.22
E	DA - FURTHER INFORMATION SUBMISSION	30.03.23

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**PROJECT**  
**MOUNT LOFT GOLF ESTATE**

**ADDRESS**  
**35 GOLF LINKS ROAD, STIRLING SA 5152**

Scale@A1  
 Scale@A3  
 Date: 30.03.23

**SHEET NAME**  
**HOTEL\_LEVEL 2 PLAN**

**SHEET NO.**      **REVISION:**  
 TP10      E









HOTEL DEVELOPMENT SUMMARY	
35 GOLFLINKS RD, STIRLING, SA	
DEVELOPMENT SITE AREA	
<b>HOTEL</b>	
SUITES	56 SUITES
SERVICED APARTMENT - 2 BED	15 APARTMENTS
SERVICED APARTMENT - 3 BED	15 APARTMENTS
PENTHOUSE APARTMENTS	2 APARTMENTS
<b>TOTAL</b>	<b>88 UNITS</b>
<b>PODS</b>	
<b>TOTAL</b>	<b>17 UNITS - 1 BEDROOM</b>
<b>PARKING</b>	
CAR SPACES - MAIN BUILDING	200 SPACES
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES

AREA SUMMARY	
AREA TYPE	AREA
<b>FACILITIES</b>	
BACK OF HOUSE / SERV - LG	1039 m²
BACK OF HOUSE / SERV - LEVEL 1	233 m²
GROUND FLOOR - F&B	323 m²
GROUND FLOOR- GOLF	429 m²
LEVEL 1	1393 m²
LEVEL 2	570 m²
LEVEL 3	447 m²
LOWER GROUND	957 m²
SERVICES CORE-L3	54 m²
<b>FACILITIES CARPARK</b>	<b>5426 m²</b>
FIRST FLOOR CARPARK	1461 m²
GROUND FLOOR CARPARK	1886 m²
LOADING BAY	67 m²
<b>HOTEL</b>	<b>3413 m²</b>
GROUND FLOOR	1095 m²
LEVEL 1	2334 m²
LEVEL 2	1659 m²
LEVEL 3	1921 m²
LOWER GROUND	1149 m²
<b>HOTEL CARPARK</b>	<b>8157 m²</b>
HOTEL CARPARK	1352 m²
LOWER GROUND CARPARK	1515 m²
<b>Grand total: 19</b>	<b>19864 m²</b>

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
B	DA SUBMISSION	01.12.21
C	DA - FURTHER INFORMATION, DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISSION	29.11.22
E	DA - FURTHER INFORMATION SUBMISSION	30.03.23

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**PROJECT**  
MOUNT LOFT GOLF ESTATE

**ADDRESS**  
35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1 1:75  
Scale@A3 1:150  
Date: 30.03.23

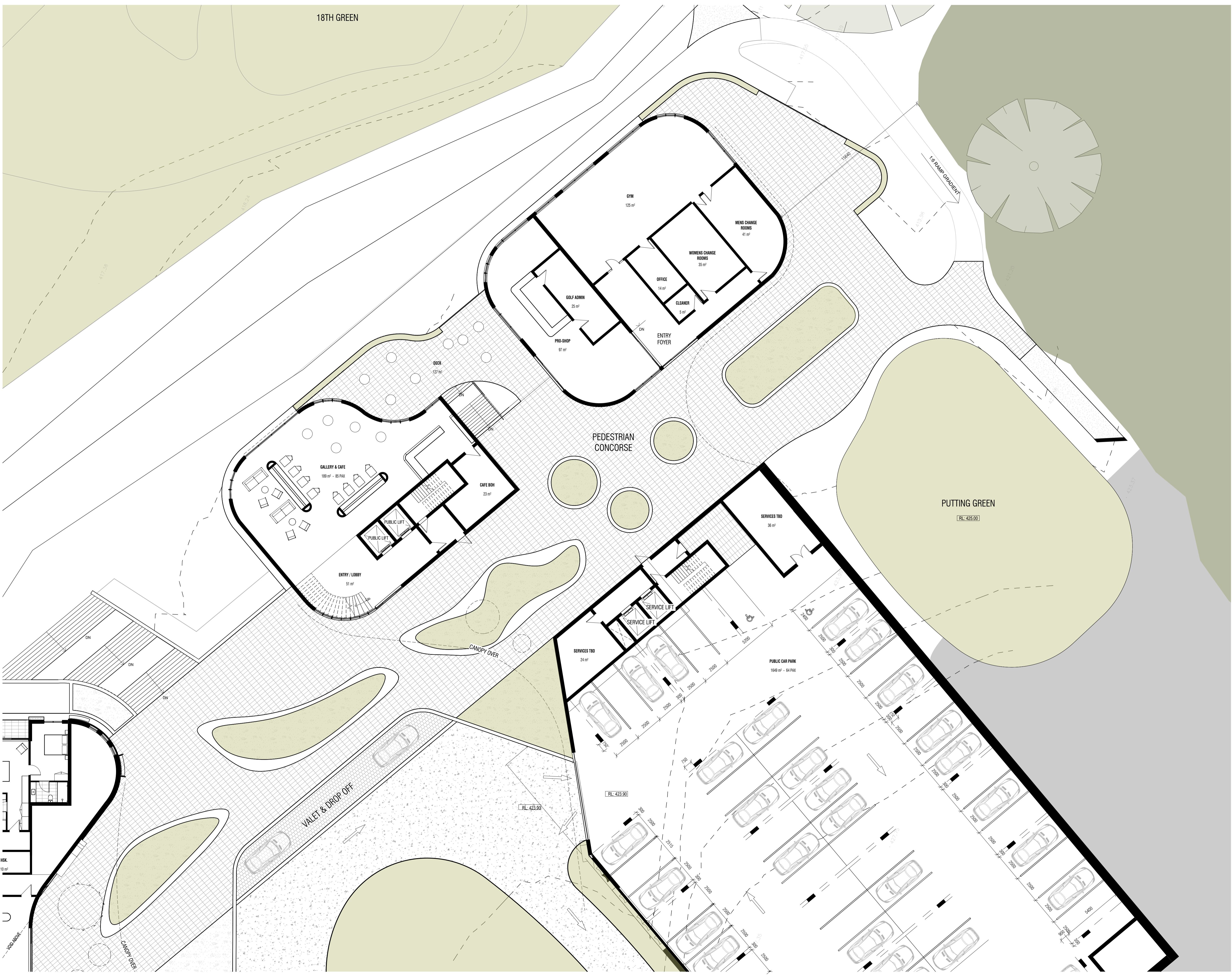
**SHEET NAME**  
FACILITIES\_LOWER GROUND FLOOR

**SHEET NO.** TP12 **REVISION:** E

**\*PRELIMINARY NOT FOR CONSTRUCTION\***







HOTEL DEVELOPMENT SUMMARY	
85 GOLFLINKS RD, STIRLING, SA	
DEVELOPMENT SITE AREA	
<b>HOTEL</b>	
SUITES	56 SUITES
SERVICED APARTMENT - 2 BED	15 APARTMENTS
SERVICED APARTMENT - 3 BED	15 APARTMENTS
PENTHOUSE APARTMENTS	2 APARTMENTS
<b>TOTAL</b>	<b>88 UNITS</b>
<b>PODS</b>	
TOTAL	17 UNITS - 1 BEDROOM
<b>PARKING</b>	
CAR SPACES - MAIN BUILDING	200 SPACES
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES

AREA SUMMARY	
AREA TYPE	AREA
<b>FACILITIES</b>	
BACK OF HOUSE / SERV - LG	1039 m²
BACK OF HOUSE / SERV - LEVEL 1	233 m²
GROUND FLOOR - F&B	323 m²
GROUND FLOOR - GOLF	429 m²
LEVEL 1	1393 m²
LEVEL 2	570 m²
LEVEL 3	447 m²
LOWER GROUND	937 m²
SERVICES CORE-L3	54 m²
<b>FACILITIES CARPARK</b>	<b>5426 m²</b>
FIRST FLOOR CARPARK	1461 m²
GROUND FLOOR CARPARK	1886 m²
LOADING BAY	67 m²
<b>HOTEL</b>	<b>3413 m²</b>
GROUND FLOOR	1095 m²
LEVEL 1	2334 m²
LEVEL 2	1659 m²
LEVEL 3	1921 m²
LOWER GROUND	1149 m²
<b>HOTEL CARPARK</b>	<b>8157 m²</b>
HOTEL CARPARK	1332 m²
LOWER GROUND CARPARK	1515 m²
	2867 m²
Grand total: 19	19864 m²

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
B	DA SUBMISSION	01.12.21
C	DA - FURTHER INFORMATION, DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISSION	29.11.22
E	DA - FURTHER INFORMATION SUBMISSION	30.03.23

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**PROJECT**  
**MOUNT LOFT GOLF ESTATE**

**ADDRESS**  
**35 GOLF LINKS ROAD, STIRLING SA 5152**

Scale@A1  
 Scale@A3  
 Date: 30.03.23

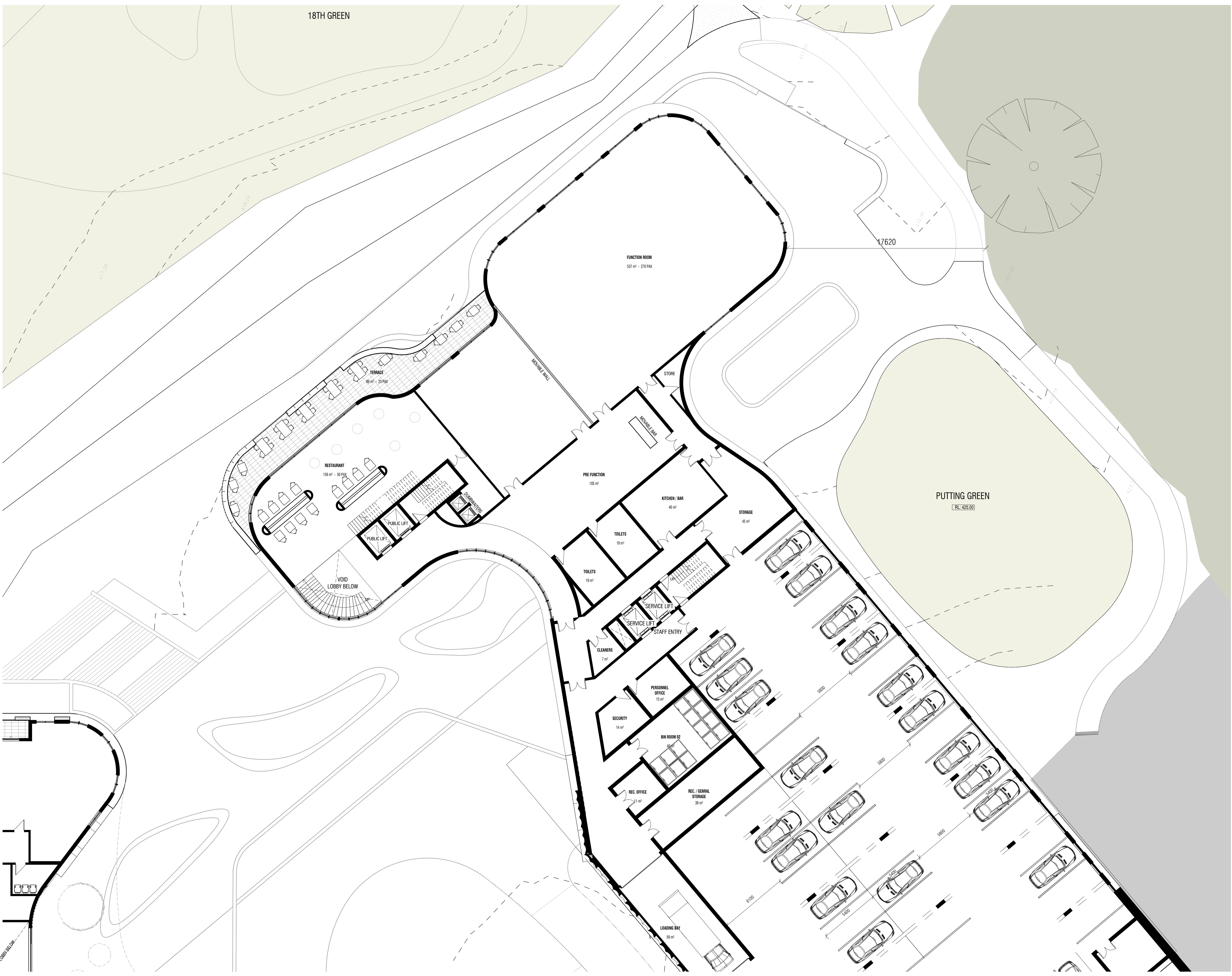
**SHEET NAME**  
**FACILITIES - GROUND FLOOR PLAN**

SHEET NO. **TP13** REVISION: **E**

**"PRELIMINARY NOT FOR CONSTRUCTION"**







HOTEL DEVELOPMENT SUMMARY	
35 GOLFLINKS RD, STIRLING, SA	
DEVELOPMENT SITE AREA	
<b>HOTEL</b>	
SUITES	56 SUITES
SERVICED APARTMENT - 2 BED	15 APARTMENTS
SERVICED APARTMENT - 3 BED	15 APARTMENTS
PENTHOUSE APARTMENTS	2 APARTMENTS
TOTAL	88 UNITS
<b>PODS</b>	
TOTAL	17 UNITS - 1 BEDROOM
<b>PARKING</b>	
CAR SPACES - MAIN BUILDING	200 SPACES
CAR SPACES - PERFUMERY OVERFLOW	20 SPACES

AREA SUMMARY	
AREA TYPE	AREA
<b>FACILITIES</b>	
BACK OF HOUSE / SERV. - LG	1039 m²
BACK OF HOUSE / SERV. - LEVEL 1	233 m²
GROUND FLOOR - F&B	323 m²
GROUND FLOOR - GOLF	429 m²
LEVEL 1	1393 m²
LEVEL 2	570 m²
LEVEL 3	447 m²
LOWER GROUND	957 m²
SERVICES CORE-L3	54 m²
	5426 m²
<b>FACILITIES CARPARK</b>	
FIRST FLOOR CARPARK	1461 m²
GROUND FLOOR CARPARK	1886 m²
LOADING BAY	67 m²
	3413 m²
<b>HOTEL</b>	
GROUND FLOOR	1095 m²
LEVEL 1	2334 m²
LEVEL 2	1659 m²
LEVEL 3	1921 m²
LOWER GROUND	1149 m²
	8157 m²
<b>HOTEL CARPARK</b>	
HOTEL CARPARK	1352 m²
LOWER GROUND CARPARK	1515 m²
	2867 m²
Grand total: 19	19864 m²

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
B	DA SUBMISSION	01.12.21
C	DA - FURTHER INFORMATION, DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISSION	29.11.22
E	DA - FURTHER INFORMATION SUBMISSION	30.03.23

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**PROJECT**  
MOUNT LOFT GOLF ESTATE

**ADDRESS**  
35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1  
Scale@A3  
Date: 30.03.23

**SHEET NAME**  
FACILITIES LEVEL 1 PLAN

**SHEET NO.** TP14 **REVISION:** E

\*PRELIMINARY NOT FOR CONSTRUCTION\*





















### FINISHES LEGEND

- CON-1 INSITU CONCRETE FINISH
- PC-1 CURVED PRECAST PANELS
- PC-2 PRECAST PANELS
- CLD-1 TIMBER CLADDING
- CLD-2 NATURAL SLATE CLADDING
- CLD-3 METAL PANALISED CLADDING
- CLD-4 PERFORATED METAL CLADDING
- WN-1 POWDERCOATED ALUMINIUM WINDOWS
- PL-1 PREFABRICATED METAL PLANTER WITH TRELLIS
- BAL-1 METAL BLADE BALUSTRADE

### MATERIALS & FINISHED SCHEDULE

WALLS	CON-1: INSITU CONCRETE SLAB EDGE AND WALLS COLOUR: NATURAL CONCRETE
	PC-1: CURVED PRECAST CONCRETE PANELS COLOUR: NATURAL CONCRETE
	PC-2: PRECAST CONCRETE PANELS COLOUR: NATURAL CONCRETE
	CLD-1: TIMBER CLADDING - MORTLOCK TRENDPLANK SHIPLAP CLADDING SPECIES: PACIFIC TEAK - BAL-19 COMPLIANT (OR EQUIVALENT) CLEAR OILED FINISH TO WEATHER
RAISED PLANTERS	CLD-2: SLATE SHINGLE CLADDING. COLOUR: NATURAL FINISH
	CLD-3: PANALISED METAL CLADDING. 300MM INTERLOCKING PROFILE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
	CLD-4: PERFORATED METAL CLADDING. COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
	PL-1: PREFABRICATED ALUMINIUM PLANTER WITH WIRE TRELLIS COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
BALUSTRADE	BAL-1: STEEL BLADE BALUSTRADE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
	WINDOVS
DOORS	PC-1: PERFORATED METAL SECTIONAL GARAGE DOORS COLOUR: COLORBOND NIGHT SKY- BLACK (OR SIMILAR)

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
B	DA SUBMISSION	01.12.21
C	DA - FURTHER INFORMATION DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISSION	29.11.22
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**PROJECT**  
MOUNT LOFT GOLF ESTATE

**ADDRESS**  
35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1  
Scale@A3  
Date: 30.03.23

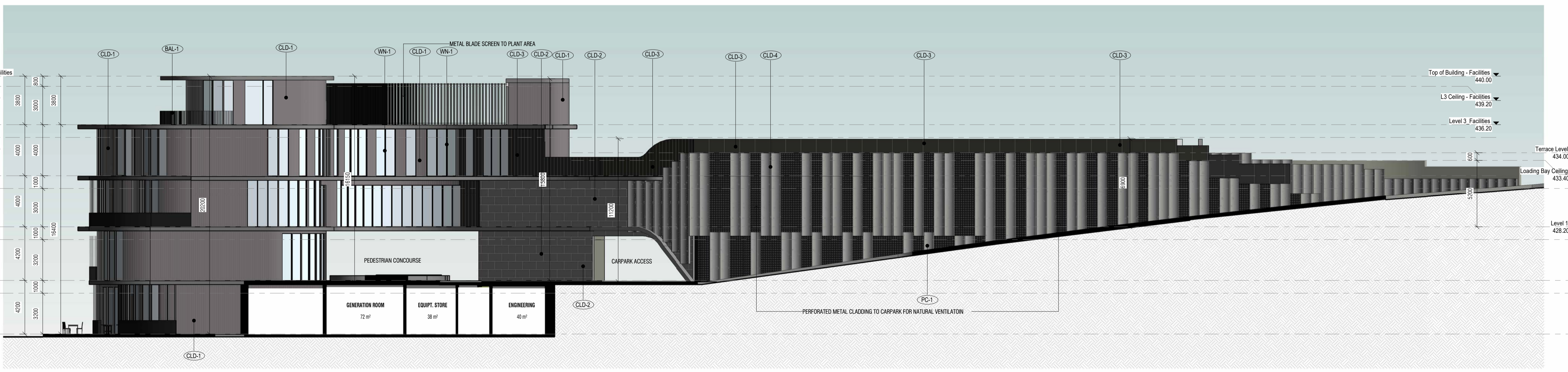
**SHEET NAME**  
ELEVATIONS\_FACILITIES

SHEET NO.      REVISION:  
**TP19.1**      E

**"PRELIMINARY NOT FOR CONSTRUCTION"**



**1 FACILITIES NORTH ELEVATION**  
SCALE 1:150



**2 FACILITIES WEST ELEVATION**  
SCALE 1:175



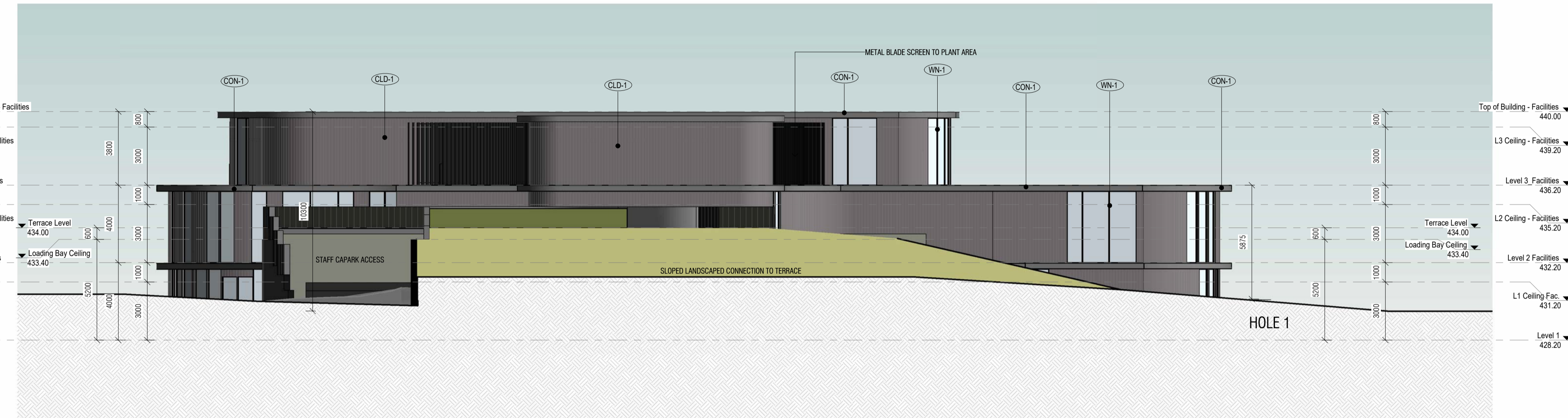
**FINISHES LEGEND**

- (CON-1)** IN SITU CONCRETE FINISH
- (PC-1)** CURVED PRECAST PANELS
- (PC-2)** PRECAST PANELS
- (CLD-1)** TIMBER CLADDING
- (CLD-2)** NATURAL SLATE CLADDING
- (CLD-3)** METAL PANALISED CLADDING
- (CLD-4)** PERFORATED METAL CLADDING
- (WN-1)** POWDERCOATED ALUMINIUM WINDOWS
- (PL-1)** PREFABRICATED METAL PLANTER WITH TRELLIS
- (BAL-1)** METAL BLADE BALUSTRADE

**MATERIALS & FINISHED SCHEDULE**

<b>WALLS</b>	<p>CON-1: IN SITU CONCRETE SLAB EDGE AND WALLS COLOUR: NATURAL CONCRETE</p> <p>PC-1: CURVED PRECAST CONCRETE PANELS COLOUR: NATURAL CONCRETE</p> <p>PC-2: PRECAST CONCRETE PANELS COLOUR: NATURAL CONCRETE</p> <p>CLD-1: TIMBER CLADDING - MORTLOCK TRENDPLANK SHIPLAP CLADDING SPECIES: PACIFIC TEAK - BAL-19 COMPLIANT (OR EQUIVALENT) CLEAR OILED FINISH TO WEATHER</p> <p>CLD-2: SLATE SHINGLE CLADDING. COLOUR: NATURAL FINISH</p> <p>CLD-3: PANALISED METAL CLADDING, 300MM INTERLOCKING PROFILE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)</p> <p>CLD-4: PERFORATED METAL CLADDING. COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)</p>
<b>RAISED PLANTERS</b>	<p>PL-1: PREFABRICATED ALUMINIUM PLANTER WITH WIRE TRELLIS COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)</p>
<b>BALUSTRADE</b>	<p>BAL-1: STEEL BLADE BALUSTRADE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)</p>
<b>WINDOWS</b>	<p>WN-1: POWDERCOATED ALUMINIUM FRAME WINDOWS WITH GLAZING. COLOUR: BLACK (OR SIMILAR)</p>
<b>DOORS</b>	<p>CAFPARK DOORS: PERFORATED METAL SECTIONAL GARAGE DOORS COLOUR: COLORBOND NIGHT SKY- BLACK (OR SIMILAR)</p>

No.	Description	Date
A	CONSULTANT REVIEW	20.10.21
B	DA SUBMISSION	01.12.21
C	DA - FURTHER INFORMATION DRAFT	08.09.22
D	DA - FURTHER INFORMATION SUBMISSION	29.11.22
E	DA - FURTHER INFORMATION SUBMISSION	30.03.23



**1 FACILITIES SOUTH ELEVATION**  
SCALE 1 : 150

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**PROJECT**  
MOUNT LOFT GOLF ESTATE

**ADDRESS**  
35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1  
Scale@A3  
Date: 30.03.23

**SHEET NAME**  
ELEVATION FACILITIES

SHEET NO. REVISION:

TP19.2 E

\*PRELIMINARY NOT FOR CONSTRUCTION\*



**2 FACILITIES EAST ELEVATION**  
SCALE 1 : 175





















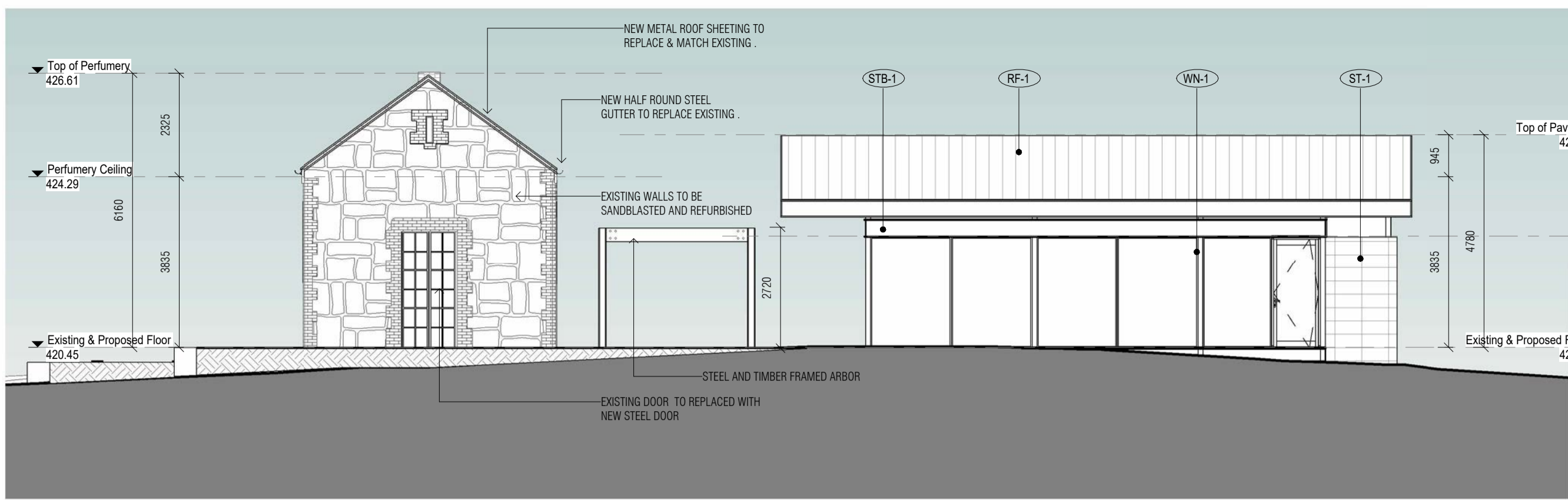




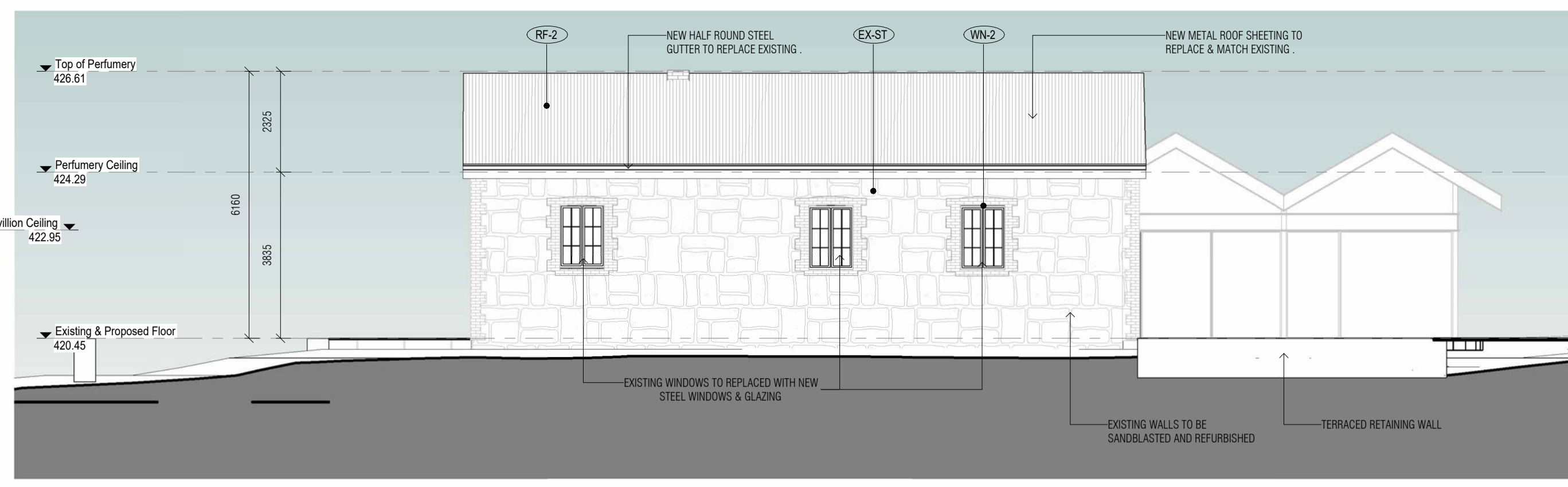




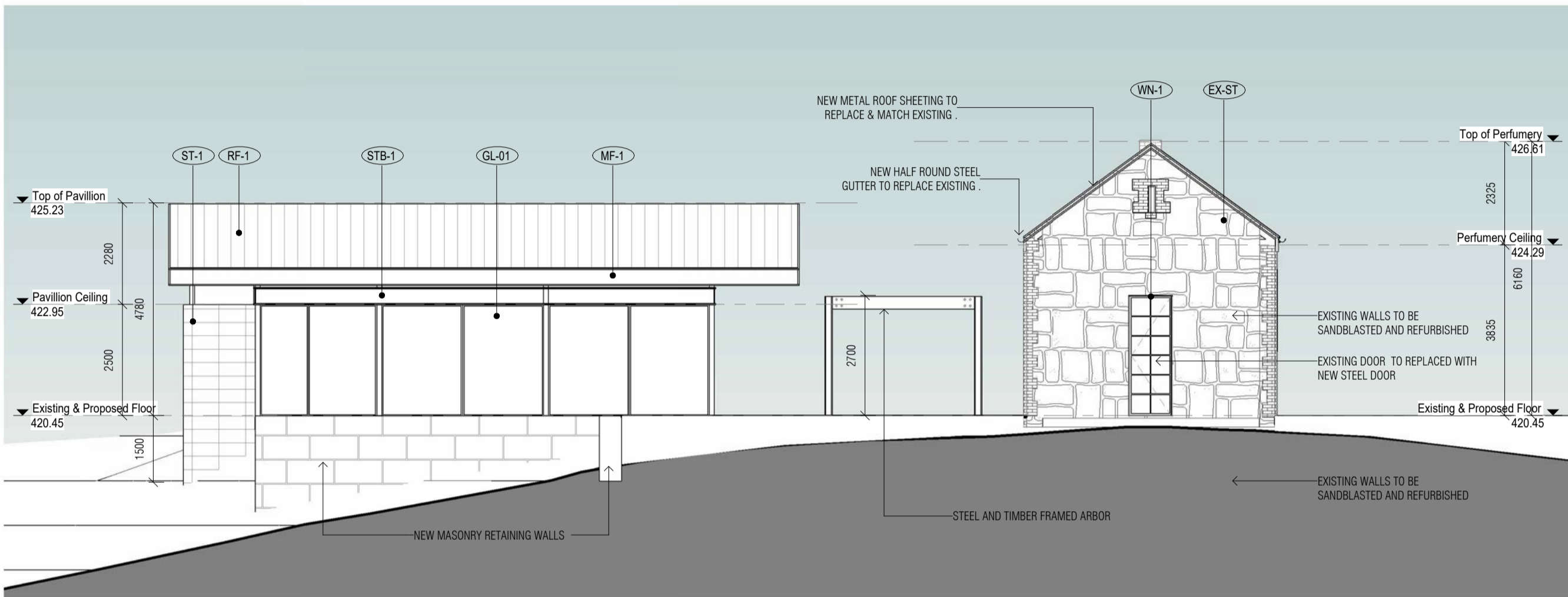




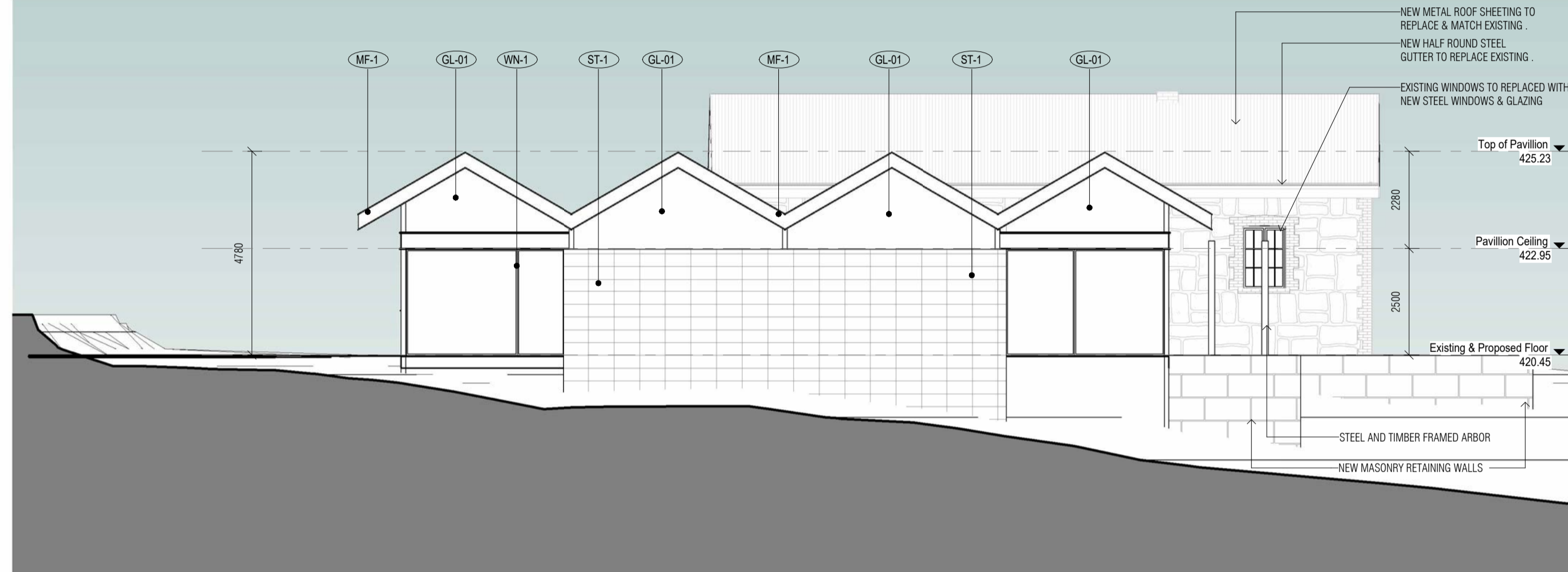
1 North Elevation  
SCALE 1:100



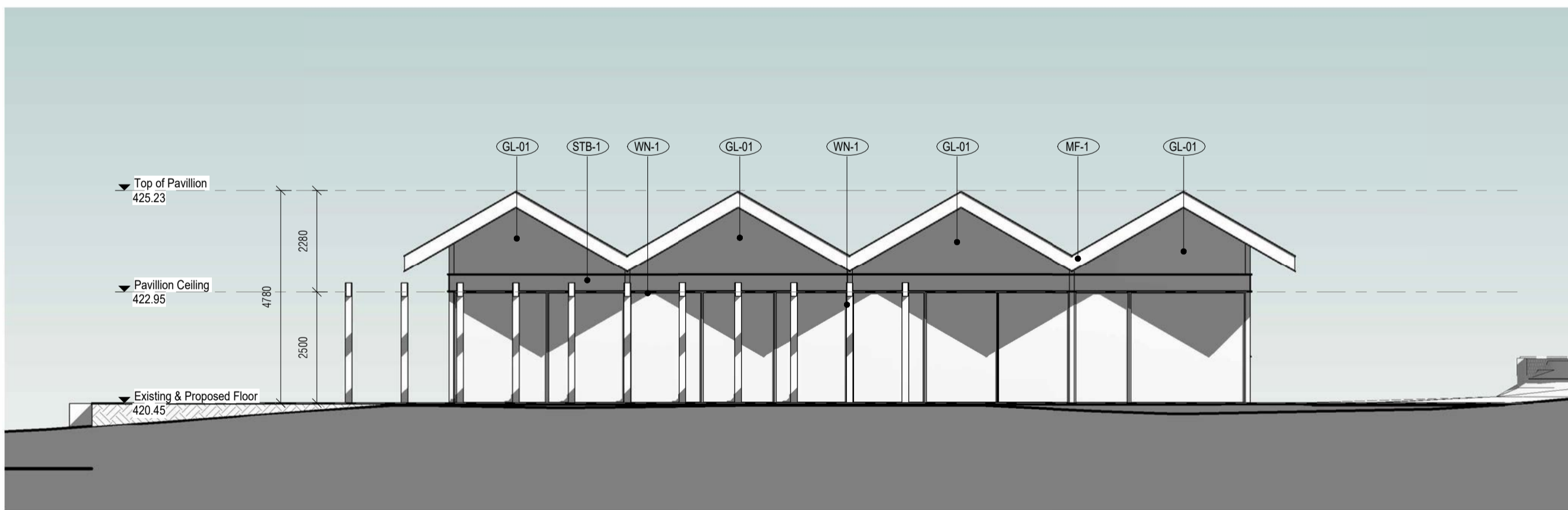
2 East Elevation  
SCALE 1:100



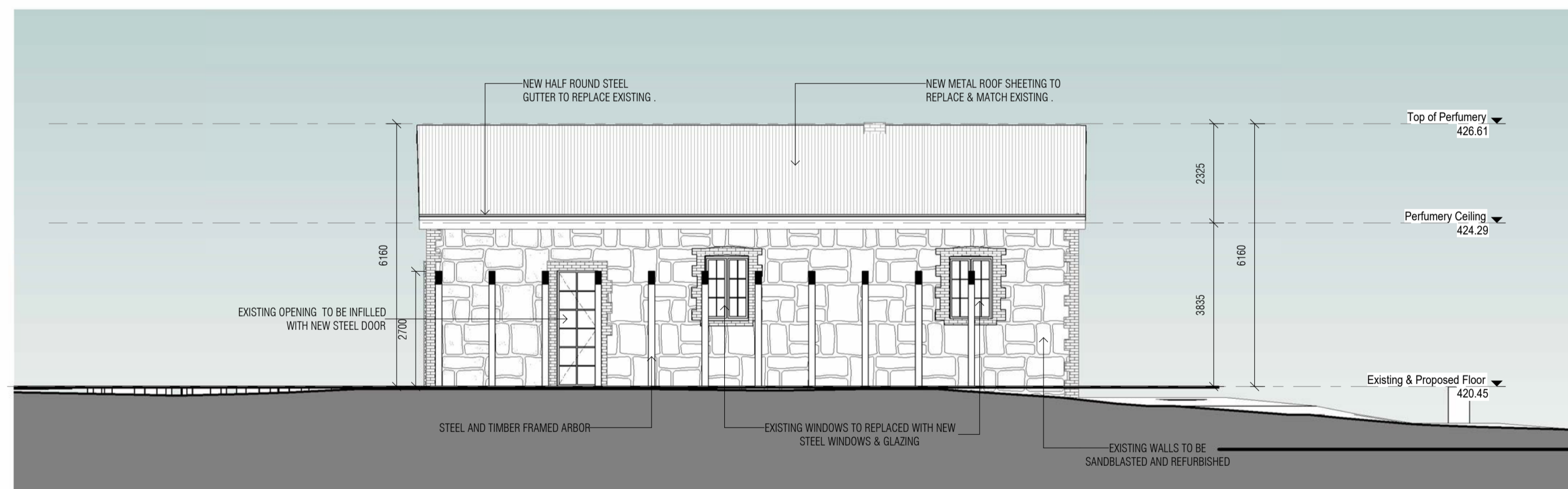
3 South Elevation  
SCALE 1:100



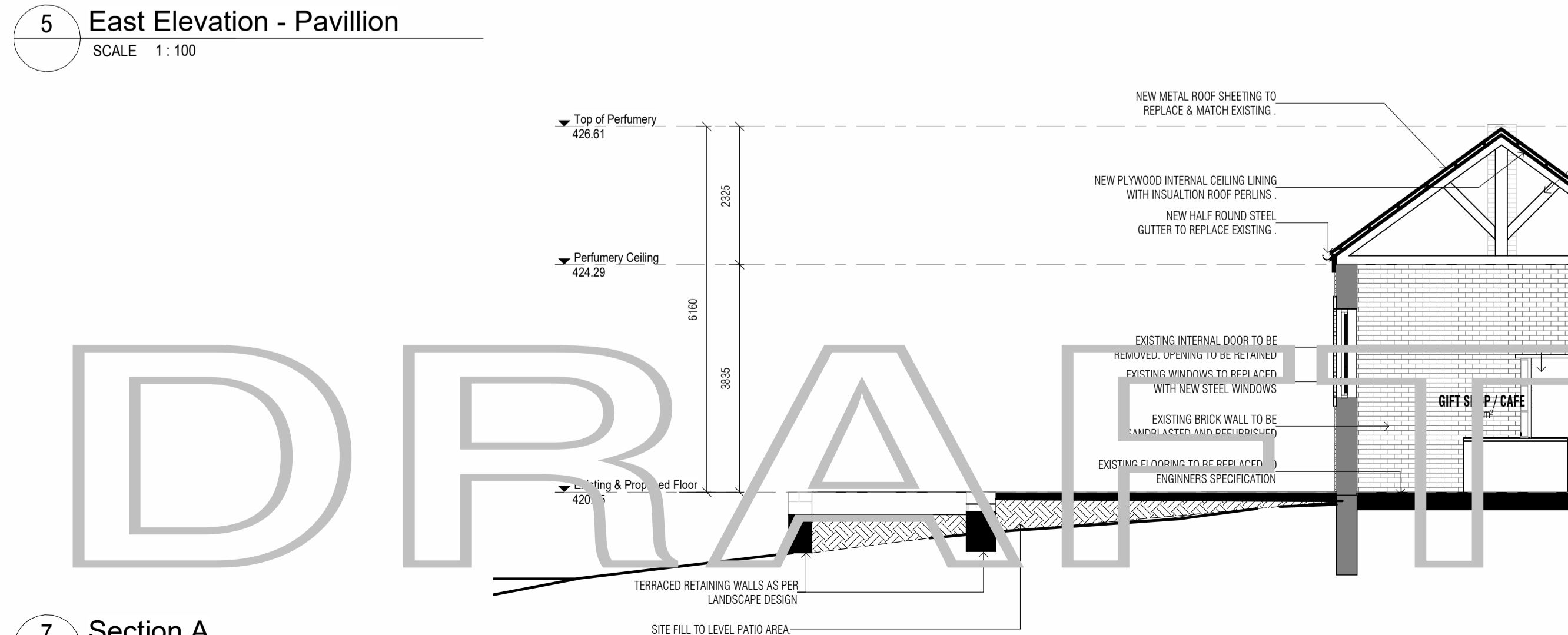
4 West Elevation  
SCALE 1:100



5 East Elevation - Pavillion  
SCALE 1:100



6 West Elevation - Perfumery  
SCALE 1:100



7 Section A  
SCALE 1:75

**FINISHES LEGEND**

- ST-1 STONE CLADDING
- EX-ST EXISTING REFINISHED STONE
- RF-1 NEW STANDING SEAM ROOF
- RF-2 NEW - REFINISHED ROOF - TO MATCH EXISTING
- MF-1 METAL ROOF FACIA
- STB-1 POWDERCOATED STEEL BEAM
- WN-1 POWDERCOATED ALUMINIUM WINDOWS
- WN-2 POWDERCOATED STEEL WINDOWS
- GL-1 FRAMLESS GLASS INFIL

No.	Description	Date
A	PERFUMERY - PRELIMINARY CONCEPT	22.02.23
B	DA - FURTHER INFORMATION SUBMISSION	30.03.23

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**PROJECT**  
MOUNT LOFTY GOLF ESTATE

**ADDRESS**  
35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1 1:100  
Scale@A3 1:200  
Date: 30.03.23

**SHEET NAME**  
PERFUMERY - ELEVATIONS

**SHEET NO.** TP21.2 **REVISION:** B

\*PRELIMINARY NOT FOR CONSTRUCTION\*

**R ARCHITECTURE**  
architect | interior design | urban design | landscape  
ph 8822 8225 e info@rarchitect.com.au



REAR LEAN-TO TO BE DEMOLISHED

NEW ROOF & GUTTERING TO MATCH EXISTING

EXISTING ADDITIONAL SHED TO BE DEMOLISHED

EXISTING BUILDING TO BE RETAINED & REFURBISHED



EXISTING BUILDING TO BE RETAINED & REFURBISHED

EXISTING CONCRETE SLAB TO BE REMOVED

EXISTING WINDOWS TO BE REPLACED WITH NEW STEEL WINSOWS



EXISTING ORGEGAN PINE TIMBER TRUSS TO BE RETAINED. ENGINEER TO PROVIDE FURTHER INSPECTION AND CONFIRMATION. PLY LINING TO UNDER SIDE OF TRUSSES WITH INSULATION. NEW WINDOWS STEEL PROVIED TO EXISTING OPENINGS.

EXISTING OPENING TO BE INFILLED WITH STEEL FRAME DOOR.

EXISTING DOOR TO BE REMOVED & OPEING TO BE RETAINED FOR BACK OF HOUSE ACCESS.

INTERIOR WALLS TO BE SAND BLASTED TO EXPOSE BRICK & STONE

EXISTING CONCRETE SLAB TO BE PROVIDED WITH NEW POLISHED CONCRETE TOPPING ON EXISTING SLAB TO ENGINEERS SPEC.

EXISTING CONCRETE SLAB TO SHED AREA TO BE REMOVED



NEW EXPOSED TIMBER TRUSS TO BE PROVIDED. INTERNAL TIMBER LINING TO UNDER SIDE OF TRUSSES WITH INSULATION.

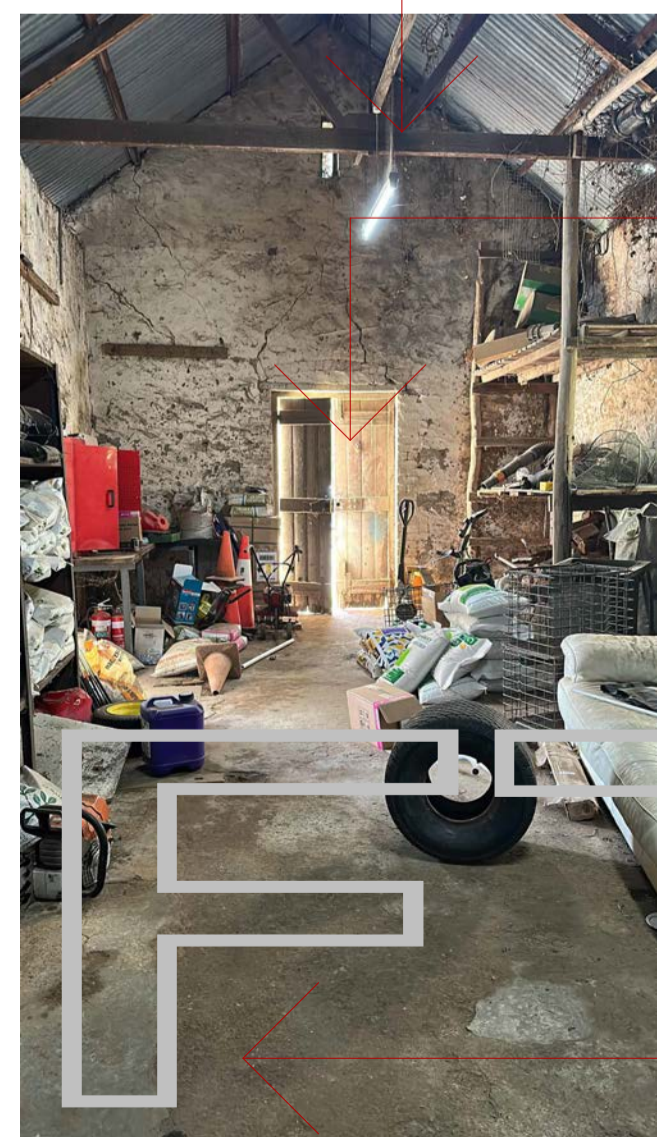
NEW STEEL ENTRY DOOR TO REPLACE EXISTING

CEILING TO BE REMOVED. RAKED CEILING & NEW TRUSSES TO BE EXPOSED.

INTERIOR WALLS TO BE SAND BLASTED TO EXPOSE BRICK & STONE

EXISTING DOOR TO BE REMOVED & OPEING TO BE RETAINED FOR BACK OF HOUSE ACCESS.

NEW CONCRETE FLOOR TO INTERIOR



No.	Description	Date
A DA	FURTHER INFORMATION SUBMISSION	30.03.23

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PROJECT  
MOUNT LOFTY GOLF ESTATE

ADDRESS  
35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1 1:100  
Scale@A3 1:200  
Date: 30.03.23

SHEET NAME  
PURFUMERY - EXISTING CONDITIONS & PROPOSED CHANGES

SHEET NO.                  REVISION:  
TP21.3                  A

\*PRELIMINARY NOT FOR CONSTRUCTION\*





















**STAGE 01:**

- UPGRADE ACCESS AND ROAD FROM OLD CAREY GULLY ROAD
- PROVIDE NEW PARKING FOR ADJACENT TO PERFUMERY
- DEMOLITION OF EXISTING GOLF CLUB AND ACCOMMODATION.

No.	Description	Date
A	DA - FURTHER INFORMATION DRAFT	08.09.22
B	DA - FURTHER INFORMATION SUBMISSION	29.11.22
C	DA - FURTHER INFORMATION SUBMISSION	30.03.23

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**PROJECT**  
**MOUNT LOFT GOLF ESTATE**

**ADDRESS**  
**35 GOLF LINKS ROAD, STIRLING SA 5152**

Scale@A1  
 Scale@A3

Date: 30.03.23

**SHEET NAME**  
**STAGING PLANS**

SHEET NO. TP22.1

REVISION: C

**\*PRELIMINARY NOT FOR CONSTRUCTION\***











**STAGE 03:**

- CONSTRUCT NEW FUNCTION PAVILION & REFURBISH PERFUMERY.
- UPGRADE / REFURBISH GOLF COURSE

No.	Description	Date
A	DA - FURTHER INFORMATION DRAFT	08.09.22
B	DA - FURTHER INFORMATION SUBMISSION	29.11.22
C	DA - FURTHER INFORMATION SUBMISSION	30.03.23

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PROJECT  
**MOUNT LOFT GOLF ESTATE**

ADDRESS  
**35 GOLF LINKS ROAD, STIRLING SA 5152**

Scale@A1  
Scale@A3

Date: 30.03.23

SHEET NAME  
**STAGING PLANS**

SHEET NO. REVISION:  
**TP22.3 C**

**\*PRELIMINARY NOT FOR CONSTRUCTION\***





**FINISHES LEGEND**

- CON-1 INSITU CONCRETE FINISH
- PC-1 CURVED PRECAST PANELS
- PC-2 PRECAST PANELS
- CLD-1 TIMBER CLADDING
- CLD-2 NATURAL SLATE CLADDING
- CLD-3 METAL PANALISED CLADDING
- CLD-4 PERFORATED METAL CLADDING
- WN-1 POWDERCOATED ALUMINIUM WINDOWS
- PL-1 PREFABRICATED METAL PLANTER WITH TRELLIS
- BAL-1 METAL BLADE BALUSTRADE

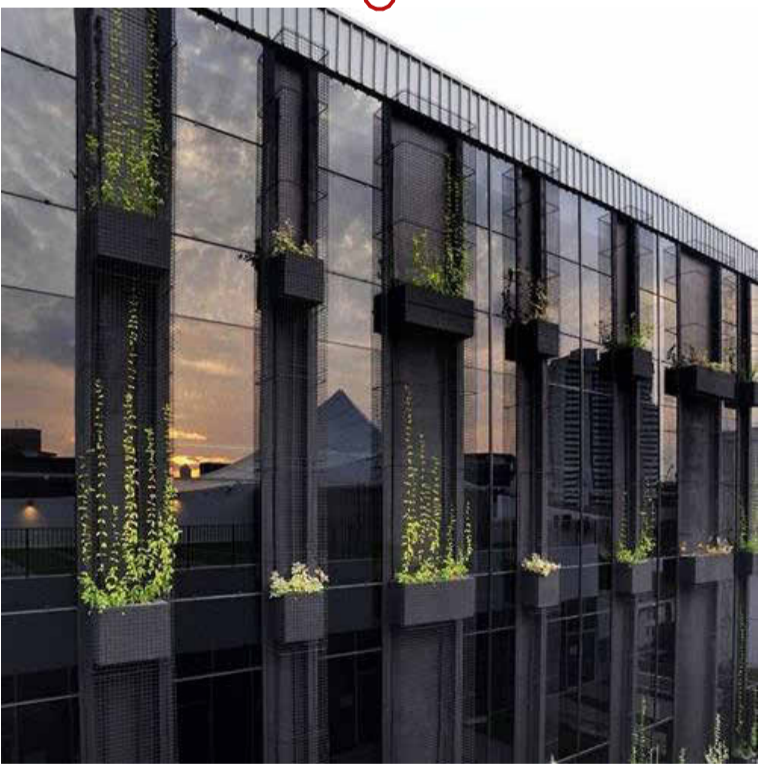
**MATERIALS & FINISHED SCHEDULE**

WALLS	CON-1: INSITU CONCRETE SLAB EDGE AND WALLS COLOUR: NATURAL CONCRETE
	PC-1: CURVED PRECAST CONCRETE PANELS COLOUR: NATURAL CONCRETE
	PC-2: PRECAST CONCRETE PANELS COLOUR: NATURAL CONCRETE
	CLD-1: TIMBER CLADDING - MORTLOCK TRENDPLANK SHIPLAP CLADDING SPECIES: PACIFIC TEAK - BAL -19 COMPLIANT (OR EQUIVALENT) CLEAR OILED FINISH TO WEATHER
RAISED PLANTERS	CLD-2: SLATE SHINGLE CLADDING COLOUR: NATURAL FINISH
	CLD-3: PANALISED METAL CLADDING, 300MM INTERLOCKING PROFILE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
BALUSTRADE	CLD-4: PERFORATED METAL CLADDING COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
WINDOWS	PL-1: PREFABRICATED ALUMINIUM PLANTER WITH WIRE TRELLIS COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
DOORS	WN-1: POWDERCOAT ALUMINIUM FRAME WINDOWS WITH GLAZING. COLOUR: BLACK (OR SIMILAR)
	BAL-1: STEEL BLADE BALUSTRADE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)
	CAFPARK DOORS: PERFORATED METAL SECTIONAL GARAGE DOORS COLOUR: COLORBOND NIGHT SKY - BLACK (OR SIMILAR)

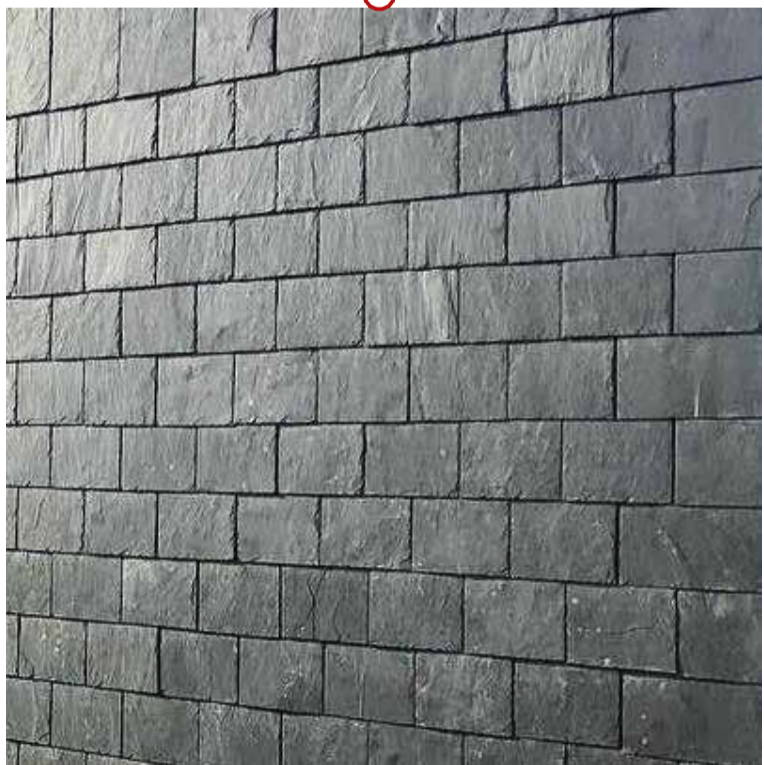
No.	Description	Date
A	DA - FURTHER INFORMATION DRAFT	08.09.22
B	DA - FURTHER INFORMATION SUBMISSION	29.11.22
C	DA - FURTHER INFORMATION SUBMISSION	30.03.23



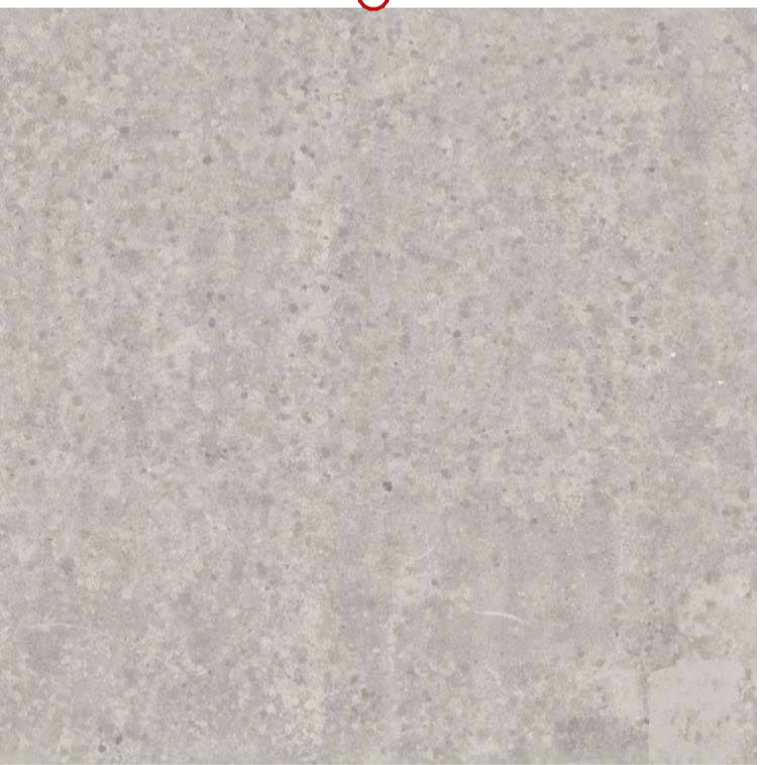
CLD-1



PL-1



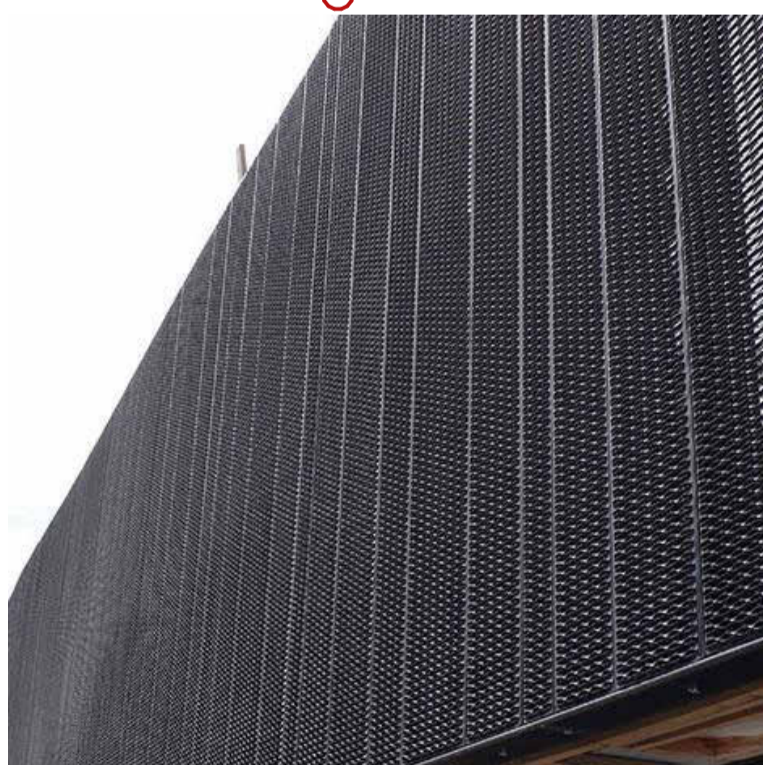
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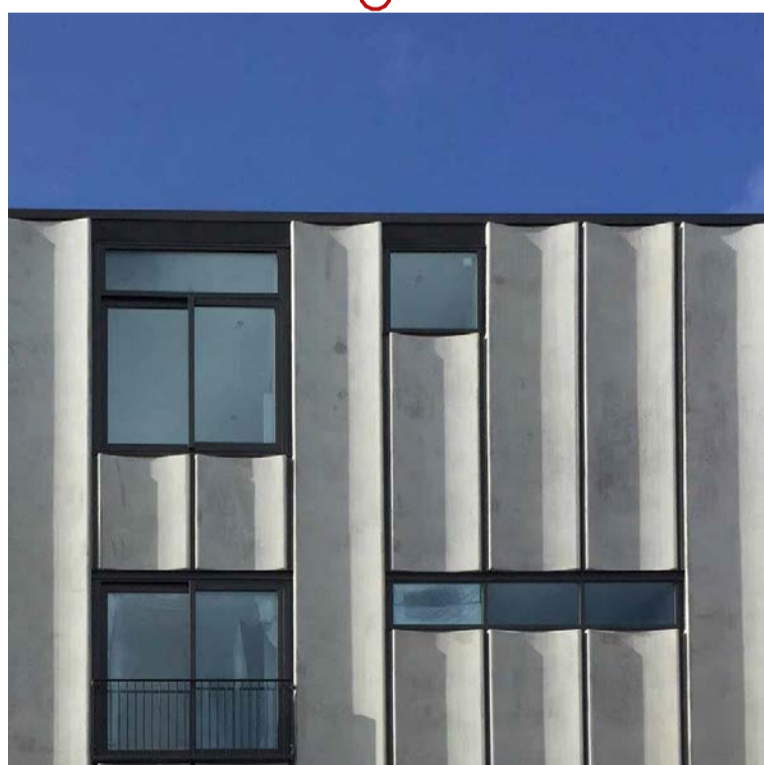
PC-1



CLD-3



CLD-4



CON-1

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PROJECT  
**MOUNT LOFT GOLF ESTATE**

ADDRESS  
**35 GOLF LINKS ROAD, STIRLING SA 5152**

Scale@A1  
Scale@A3  
Date: 30.03.23

SHEET NAME  
**MATERIALS PALLET**

SHEET NO. REVISION:  
**TP23 C**

**\*PRELIMINARY NOT FOR CONSTRUCTION\***