

2 February 2025

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Dear Robert

Response to Public Submissions, Council and State Agency Advice and Request for Further Information – Mount Lofty Golf Estate

Introduction

Thank you for your recent review of the amended planning documents in relation to the Mount Lofty Golf Estate Major Project.

Pursuant to Section 46D(7) of the *Development Act 1993*, a formal response has been prepared to the matters raised during the public exhibition and formal referral of the Development Report in July 2023. Subsequent clarifications were also sought from both Adelaide Hills Council, State agencies and DHUD-PLUS during the review of the initial response documentation provided from May 2024.

For the purposes of clarity and transparency, an updated Development Report has been provided to form a single document of the development to be assessed.

This includes changes made to the project since the conclusion of the exhibition period. These have been incorporated into an updated Development Report to address the planning matters raised, and where appropriate, to further minimise the potential for impacts arising from the project.

The updated Development Report and a response to your further information request dated 2 September 2024, form the final application to be assessed by the State Planning Commission.

The changes to the development, as detailed in the amended Development Report, can be summarised as follows:

- Removal of the 17 accommodation pods and 1 service Pod, that previously were proposed to the west of the main Tourist Accommodation and Golf Club Facilities buildings. This was a direct response to the community who sought a reduction in native vegetation removal.
- Reduction in the amount of native vegetation impacted from 1.716 hectares (ha) and 151 scattered trees to 0.431 ha and seven scattered trees. Equating to a reduction in the amount of native vegetation impacted of almost 1.3 ha and a 95% reduction in the amount of impacted scattered trees.
- Reduction in the Significant Environmental Benefit (SEB) Offset payment from \$615,436.80 to \$98,499.49 (including admin fee) to account for the reduction in native vegetation proposed to be impacted.
- Reconfigure the Perfumery Gardens and Orchard to retain additional trees.
- Provision of additional detail regarding externally lit areas, together with night-time imagery of the proposal. To demonstrate how the built form will look at night.
- Relocation of additional car parking for staff, to be accessible from Old Carey Gully Road, to reduce forecast daily traffic movements on Golflinks Road.
- Provision of additional information on the proposed upgrades to Golflinks Road.
- Provision of a new dedicated pedestrian trail adjacent Golflinks Road to increase pedestrian safety and separate cars from pedestrians.

Additional technical information is contained in the attached appendices:

- Amended Architectural Drawings – **Attachment A**
- Amended Landscape Report prepared by Oxygen – **Attachment B**
- Amended Architectural Design Statement with additional Design Concept Process Documentation prepared by RArchitecture – **Attachment C**.
- Proposed Golflinks Road alterations (**Attachment D1**), proposed Construction and Operational Access Old Carey Gully Road (**Attachment D2**) and proposed Golflinks Road 12.5m Swept Path Drawings (**Attachment D3**) prepared by Cirqa Traffic Engineers.
- Proposed Golflinks Road Alterations and Rising Main Upgrade prepared by FMG Consulting Engineers – **Attachment E**.
- Amended Native Vegetation Clearance Report prepared by Succession Ecology – **Attachment F**.
- Amended Weed Management Plan prepared by Environmental Projects – **Attachment G**.

- Operational Plan of Management prepared by 1834 Hotels - **Attachment H.**
- Correspondence from SA Water - **Attachment I.**
- Correspondence from Succession Ecology **Attachment J.**
- Cultural Heritage Management Plan Framework - **Attachment K.**
- Correspondence from Council's CWMS Officer - **Attachment L.**
- Pedestrian pathway plan prepared by Oxigen Landscape Architects and correspondence from Council's - **Attachment M.**
- Amended Integrated Water Management Plan and SMP – **Attachment N.**

In addition, the remainder of this letter provides a direct response to the request for further information. This clarification was sought by Council, state agencies and DHUD-PLUS in response to the review of updated project information.

Applicant's Response to Request for Further Information

The following provides a response to PLUS' RFI email dated 2 September 2024. For each item, PLUS' RFI is listed in ***bold italics***. The Applicant's response follows.

Site entry (road/crossover) details for secondary and emergency access points to the golf course site from Old Carey Gully and Golflinks Road respectively are currently indicative only. Additional information would be beneficial to confirm the scope of works required, likely vegetation impacts, utility relocations/upgrades, stormwater works etc associated with the site entries, to ensure they can function appropriately during both construction and operational periods. It has been assumed that no works are proposed on the residential side of Golflinks Road.

Identification of likely vegetation impacts along Golflinks Road to facilitate shoulder sealing works. i.e. a plan that identifies trees requiring removal and/or pruning at locations where shoulder sealing is proposed. Consideration to be given also to what utility relocations/upgrades, stormwater works, barrier treatments etc might be required at these locations. It is assumed that outside the shoulder sealing locations, no works are proposed.

In September 2024, representatives of URPS, CIRQA and Succession Ecology walked the entire length of Golflinks Road in the area adjacent the Mount Lofty Golf Estate. A walk along Old Carey Gully Road up to the secondary access point and back through the site via this driveway was also undertaken. The following week FMG consulting engineers undertook this same route to review existing infrastructure and determine any impacts / upgrade works required.

This review determined that there was an opportunity to upgrade about 75% of Golflinks Road by widening it between 0.5-1.0m in width. The portions that are 0.5m will be the majority, this approach minimised vegetation removal versus safety gained from road upgrade.

It was also determined that there was an opportunity to upgrade the secondary access point and driveway upon immediate entry to the site to accommodate construction vehicles at Old Carey Gully Road.

The purpose of upgrading Golflinks Road was borne from a desire to provide the Golflinks Road community with upgrade works to address concerns that the road is presently unsafe. These safety concerns require careful balance against another area of concern for the Golflinks Road community which is retention of existing vegetation.

As the Applicant's team has noted on many occasions, such upgrades are not technically necessary given the traffic evidence CIRQA presented in the Development Report. Adelaide Hills Council (Council) has raised on numerous occasions that they do not share this view. However, to date, have failed to provide a peer review or evidence to the contrary.

In the interest of moving forward, the Applicant provides the following additional information:

Vegetation impacts:

As per **Attachment F**, Succession Ecology provided a summary of the likely vegetation impacts proposed to occur as a result of the Golflinks Road upgrade works and also at the Old Carey Gully access.

Figure 1 provides detail on the vegetation surveyed by Succession Ecology. For reference the following system was adopted.

- Small red dot – minor prune
- Green – no disturbance
- Black dot – remove
- Large red dot – major prune (or possibly removal within the emergency access, depending on final CFS requirements)
- Grey – miscellaneous

Figure 1 – Succession Ecology Data Collection – Vegetation Impacts



*Following Succession Ecology's review of vegetation, Cirqa Traffic Consultants sought additional confirmation on whether there was support for removing an additional dead tree given its siting at a tight spot in the road between 10 and 14 Golflinks Road. This tree is depicted in **Figure 2**. Cirqa noted that there was no opportunity to widen the road in this location on the southern side of Golflinks Road because of the existing vegetation. The suggestion was made that the tree could be felled and relocated as logs on the Golf Course site to provide native fauna habitat.

Figure 2 – Additional tree sought for removal



Succession confirmed that:

“Our assessment of this particular dead tree, with regards to the Native Vegetation Act, finds that it does not meet requirements under the Act to be considered ‘native vegetation’.

https://cdn.environment.sa.gov.au/environment/docs/dead_trees_as_native_vegetation_fact_sheet_october_2018.pdf As such, it could be removed, if required.

From a general ecological perspective leaving the tree would minimise disturbance to existing habitat. However, given the likelihood that it would require removal to satisfy traffic requirements, it is a good suggestion to relocate the tree (as logs) to other areas of habitat within the Golf Course property to enhance habitat for other resident fauna”.

The extent of likely vegetation impacts is therefore confirmed as:

- 3 x trees removed
- 6 x trees requiring minor prune
- 3 x trees requiring major prune
- 9 x miscellaneous

In addition to the above, Succession confirmed the following:

“Pump station: *As discussed on-site, it is advised to keep all upgrade works to south-east of existing pump station to avoid native vegetation disturbance.*

Walking path: *We note that another consulting firm (Oxigen) is assessing and planning the walking path route adjacent to Golflinks road, and that they are planning it with the view to not impact any native vegetation. It should be noted that whilst the understorey along Golflinks road is predominantly comprised of exotic species, there are native shrubs scattered throughout, with the highest density being close to the current Golf Course entrance along Golflinks road.*

Emergency access route: *As discussed on-site, there are a number of trees that will require disturbance from Golflinks Road to the edge of the golf course boundary (refer to data attached). For clarity, we consider that a feasible route can be made through the golf course boundary that will avoid all other trees within the golf course. The patch of blackberry that will be necessary to disturb is unlikely to result in a significant impact to available habitat to any Southern Brown Bandicoots that may be within the area".*

Utility relocations/upgrades and stormwater works etc associated with the site entries, to ensure they can function appropriately during both construction and operational periods.

As per **Attachment E**, a draft civil plan has been prepared by FMG, outlining the civil infrastructure required to realise the requirements of the Traffic Impact Assessment prepared by CIRQA. This draft plan has been prepared over a basic engineering survey of Golflinks Road, and has overlaid ecologist tree location data supplied by Succession Ecology. The works outlined within the draft civil plan are minor in nature, and are all considered feasible, from the perspective of cost, practicality, and safety. Some areas are noted where works in the public reserve may need to extend into the golf course (i.e. battering, or supplementary storage to the pump station), and this is accepted by the developer to be resolved as an easement where necessary. It is noted that Council's existing road does not appear to remain wholly within the road reserve. Reference should be had to Drawings C101, C102 and C103.

It has been assumed that no works are proposed on the residential side of Golflinks Road.

Correct.

Confirmation that no additional vegetation impacts are required to provide access within the site via the secondary or emergency vehicle access points. From a recent site visit, it is not clear that to facilitate these vehicle movements – particularly larger service and delivery vehicles – can be readily accommodated (such as larger vehicles having to negotiate the track between the perfumery and public road, or for a CFS truck to utilise the emergency vehicle access to the hotel complex).

As per SHEET # 11_SH01 of **Attachment D2** and **Attachment J**, there is no proposed vegetation removal associated with larger service and delivery vehicles or construction vehicles from Old Carey Gully Road to the Perfumery. This was also confirmed on review by project ecologists Succession Ecology following their Field Data review.

Succession ecology has confirmed with regard to the emergency access routes: "A feasible route can be made through the golf course boundary that will avoid all other

trees within the golf course. The patch of blackberry that will be necessary to disturb is unlikely to result in a significant impact to available habitat to any Southern Brown Bandicoots that may be within the area”.

In addition, it is also confirmed that no vegetation is required to be removed in proximity to the existing pump station shed on Golflinks Road as the approach will be to keep all upgrade works to the east of existing pump station to avoid native vegetation disturbance. This area was also examined by Succession Ecology and the proposed sting of the pump station altered in response.

Provision of swept / turn paths for 12.5m buses and 19m articulated vehicles for all intersections, all corners on Golflinks Road and all access points. Turn paths are to include movements in all directions.

Refer to **Attachment D3** which details swept / turn paths for 12.5m buses.

During construction and operation there is no intent for 19m articulated vehicles to use Golflinks Road. Construction access for 19m articulated vehicles is provided via Old Carey Gully Road. As per SHEET # 11_SH01 of **Attachment D2** – swept paths for a 19m articulated vehicle have been provided.

Confirmation that the shared use path is entirely within the golf course land (note: pedestrian entry points from the public roadway can be determined as part of detailed design), or if not, details as to where it is located within the adjoining Council Road reserve. Currently assumed that any vegetation impacts are within the golf course site only.

The majority of the shared use path is within private land (golf course) given the narrow verge and existing vegetation within the verge. The footpath is located within the Golflinks Road verge (northern side) at 2 locations:

- Adjacent the small pump station and existing informal footpath servicing it, and
- Adjacent to the entry to the Golf Club at the eastern end of the new footpath.

These locations utilise the existing infrastructure and enable entry to the golf club. They also avoid tree removals.

The proposed route avoids the need for removal of any existing trees, regulated or otherwise, both within the verge and on private land. Some removal of weed species (blackberry and broom) will occur. The works will require minor earthworks.

The footpath has been scoped as “an informal, rubble (road base) footpath” which is consistent with the location, anticipated use and the existing small section of Council footpath described above adjacent to the pump station. To my knowledge, the requirement has not previously been described as a “shared use path” which would imply greater width and a sealed/paved surface. We do not envisage a shared use path would be necessary or appropriate. It would imply a much more interventionist and environmentally inappropriate outcome.

While the route was pegged on site, many of these pegs have subsequently been removed. However, we do have the route digitised on a CAD plan which can be used for presentation to Council and PLUS if required.

Confirmation of the adequacy / upgrade requirements for the connection to and operation of the council's pump station, including potential impact areas / land requirements for any required augmentation works. SA Water advice is being chased up again to assist in confirming suitability / requirements.

Refer **Attachment I** and **N** which provides FMG Engineers on-going liaison with SA Water. Refer also section 2.2 of this correspondence.

2. Applicant's Response to Informal Comments from Agencies and Council

Table 1 provides a summary of the relevant agency comments received. Where further commentary is provided, reference is made to the relevant section of this letter and/or supporting documentation.

Table 1 – Applicant response to agencies

| Agency | Applicant Response |
|---|--|
| SA Tourism Commission (SATC) | SATC continues to support the Mount Lofty Golf Course proposal. |
| Aboriginal Affairs and Reconciliation (AAR) | Refer section 2.1. |
| DIT | PLUS confirmed that DIT "Verbally advised there is not likely to be any impact on State controlled roads (to be confirmed in writing)". At the time of writing this response letter, no written response has been provided. |
| EPA | Refer section 2.2 |
| Landscape SA | PLUS confirmed: "The Hills and Fleurieu Landscape Board does not have any further comments". The Applicant accepts the comments from Landscape SA dated 15 August 2023. |
| Government Architect | Refer section 2.3 |
| CFS / ESO | Refer section 2.4 |
| DEW | Refer section 2.5 |

| Agency | Applicant Response |
|-----------------------------|--------------------|
| NVC – See also DEW comments | Refer section 2.6 |
| SA Water | Refer section 2.2 |
| Health SA | Refer section 2.7 |
| Adelaide Hills Council | Refer section 2.8 |

2.1. Aboriginal Affairs and Reconciliation (AAR)

The Applicant accepts the recommendations set out in AAR's 2023 correspondence as well as their additional response dated 7 August 2024. In response to their comments and recommendations, it is noted that the Applicant prepared a Cultural Heritage Management Plan Framework (CHMP) (**Attachment K**). The purpose of the CHMP was to:

- Demonstrate the commitment by Mount Lofty Golf Estate to consulting and working with the Kaurna Yerta Aboriginal Corporation (KYAC), the registered native title body corporate for the Kaurna people.
- Ensure Mount Lofty Golf Estate meets its statutory obligations under the Aboriginal Heritage Act 1988 (AH Act) in relation to the management and protection of Aboriginal cultural heritage.
- Demonstrate the measures that will be implemented to manage and protect Aboriginal cultural heritage in the pre-construction, construction, and operation phases of the project.
- Demonstrate the cultural heritage stop work / discovery and reporting procedures should Aboriginal heritage be identified during either the construction or operational phases of the project.

Reference should be had to this document in understanding the commitments already made by the Applicant in this regard. The CHMP provides detail on the proposed processes that will be followed if Aboriginal heritage is discovered during construction.

The Applicant accepts that the recommendations of AAR be attached to any decision on this proposal as conditions of consent. The following wording is proposed for the consideration of PLUS:

Prior to issue of Development Approval, the Applicant will consult with Kaurna Yerta Aboriginal Corporation (KYAC) and/or any other Traditional Owners to ascertain whether any Aboriginal Heritage intersects the Project area.

Prior to issue of Development Approval, the Applicant will seek advice from a qualified archaeologist regarding scattered trees and a summary of findings provided to the satisfaction of PLUS staff.

Prior to issue of Development Approval, the Applicant will provide a copy of the CHMP to KYAC and/or any other Traditional Owners identified by PLUS for their comment and review.

In the event that Aboriginal objects are discovered during construction, the Applicant will follow the procedures set out in the Cultural Heritage Management Plan in line which are consistent with the Aboriginal Heritage Discovery and Avoidance Protocols.

The recommendations of AAR have therefore been addressed and adopted.

2.2 Environment Protection Authority and SA Water

The EPA provided informal comments to PLUS regarding:

- Noise
- Stormwater
- Wastewater

With respect to noise, *“the EPA still considers that subject to adoption of the building design and construction and equipment recommendations made in the March 2024 noise assessment, noise from the proposed development would be unlikely to have an adverse impact on people living in existing nearby residential properties”.*

Therefore, the Applicant infers that the matter of noise has been adequately addressed.

With respect to stormwater, *“the EPA still considers that further detailed stormwater design work will need to be undertaken to confirm prior to any potential Development Approval being granted”.*

Therefore, the Applicant accepts the following condition of consent:

“Prior to the issue of Development Approval, the Applicant will provide a detailed stormwater management plan which confirms mechanisms to control water quality runoff from the site”.

With respect to wastewater, the EPA noted that: *“It is of concern to the EPA that wastewater management has not yet been fully resolved and advises that the EPA may not be able to support the proposal if wastewater cannot be managed through off-site systems. This issue should be carefully addressed as part of any conditions...”*

The primary concern from Council is that the wastewater approach was yet to be confirmed via Adelaide Hills Council (Council) and SA Water. Since receipt of these comments from the EPA the Applicant’s Civil Engineer FMG has received advice from Council and SA Water.

Wastewater is proposed to be managed by:

- Collection of wastewater from all wastewater generating facilities into septic tanks which are desludged on a yearly basis.
- Residual effluent from the septic collection will be conveyed to a holding tank, and pumped to the existing Council pump station on Golflinks Road at nominally 1.4L/s
- Council's existing pump station will be upgraded from the current 1.5L/s capacity, to a new pump capacity of 2.6L/s within the existing rising main. Additionally, a further 20m³ of emergency storage will be provided below ground at the Council pump station.
- Preliminary wastewater calculations prepared in accordance with SA Health and WSAA code requirements were provided by FMG as well as indicative septic tank sizes. Schematic designs of the system were provided to Council's Community Wastewater Management System (CWMS) Technical Officer 24 March 2023.

In response Council's CWMS Technical Officer confirmed:

"I can confirm that Council has in principle support for the proposed development including the upgrade to Council's Golflinks Rd CWMS pump station 2 infrastructure located opposite Golflinks Court, Stirling. The developer will be responsible for all augmentation charges associated with the proposed pump station 2 upgrade and must seek approval from SA Water to discharge into their infrastructure.

Once the applicant is lodged further discussions can take place regarding the necessary upgrade".

Council's 'in principle support' for the wastewater approach is noted.

With respect to SA Water, FMG received the following response dated 9 December 2024:

"SA Water has completed assessment on the Council request to increase discharge to the SA Water network to enable the Stirling Golf Course development via a private Council owned pumping station.

SA Water has investigated the existing network capacity and ascertained that the SA Water network can accommodate an increase in flow rate to 2.6L/s. We understand this would be enabled by upgrading the Council private pump station to discharge at the rate of 2.6L/s and installation of emergency storage as well.

To accept the flows, Council, as the service provider to Stirling Golf Course development, will need to apply to SA Water for a trade waste discharge permit. I have emailed the Adelaide Hills Council accordingly to action this.

(Underlining added)

The Applicant accepts the following condition to ensure that the EPA's concerns are addressed:

Final wastewater management system details to be confirmed to the satisfaction of Adelaide Hills Council and SA Water during detailed design.

As such, the Applicant considers that the approach to wastewater management has the support of both Council CWMS Technical Officer's and SA Water. The inclusion of a condition of consent that requires further detailed design and engagement to occur, will allow for wastewater to be suitably managed.

2.3 Government Architect

The Applicant attended three Design Review Panel (DRP) Sessions with the Government Architect's Office for Design and Architecture. Since this time, further design changes have been made. The Design Team have reviewed the Government Architects comments dated 19 July 2024 and provide the following response. In responding, the following attachments are relevant:

- Architectural Drawings prepared by RArchitecture – **Attachment A**
- Landscape Design Report prepared by Oxigen Landscape Architects – **Attachment B**
- Architectural Design Statement prepared by RArchitecture – **Attachment C**
- Operational Hotel Management Plan prepared by 1843 Hotels - **Attachment H**

For each item, the Government Architect's commentary is listed in ***bold italics*** and the Applicant's response follows:

Review of the site-wide movement strategy in relation to servicing, operations, traffic, legibility of front and back of house areas, with the view to providing discrete servicing and a seamless and welcoming guest experience.

Further consideration of the arrival experience in relation to movement and legibility, materiality, seamless integration of landscape and architecture, built form massing, architectural expression, services and extent of car parking.

A review of the site-wide movement strategy was undertaken by the Design Team, the following changes have been made since DRP 3:

- The entry to the lower-level carpark for guests and golf club patrons has been relocated further up the main driveway instead of the public promenade. This change supports segregation of vehicles accessing the carpark from the hotel guest and public promenade and presents a more pedestrian focused plaza.
- Relocation of the hotel carpark entry so that it is not visible from the arrival area.
- Relocation of the access driveway and a new landscaped mound to conceal it from view.

- Services and staff carpark relocated to the upper deck accessible from a service driveway now concealed behind the Roof Terrace and associated sloped landscape.
- Reimagining the carpark presentation to main arrival promenade has added a more human scale and architectural expression in the built form.
- Back of house spaces in the facilities building have been re-arranged to suit functionality and activation of the building façade. This re-arrangement of internal spaces in the facilities building now provides staff with glazed windows overlooking the public promenade which also result in better work environment, as well as activation of the building façade.
- The eastern façade of the facilities building facing tee box 1 is proposed to have Mount Lofty Golf Club logo etched into the wall to create a backdrop at the 1st tee.

In addition to the above, the Applicant sought advice and a review of the proposal from 1834 Hotels. Their advice informed the above changes and confirmed that the operational layout was of high quality. An Operational Plan of Management (OPOM) (**Attachment H**) was also prepared. The OPOM confirms that the proposal *“demonstrates a strong alignment between operational needs and design, ensuring a functional, upscale, and distinctive hospitality destination”*. To quote the OPOM:

“1834 Hotels has carefully prepared the Operational Plan of Management (OPOM) for the Mount Lofty Golf Estate to provide a robust framework for the successful operation of this upscale property. The plan reflects extensive collaboration with architects, designers, and ownership teams, ensuring the final design and operational layout are aligned with the high standards required for a luxury golf resort.

This OPOM addresses critical operational areas, including guest experience, food and beverage management, back-of-house (BOH) operations, safety protocols, and waste management. Key features include:

- *A seamless guest arrival and departure process, with valet parking, separate staff/service routes, and clear distinctions between guest and operational zones to enhance privacy and convenience.*
- *Thoughtful operational design to manage traffic, and servicing schedules, reducing impacts on guests.*
- *Comprehensive safety and security measures, including 24-hour CCTV monitoring, keycard access controls, and adherence to fire safety standards.*
- *Strategic management of food and beverage outlets, room service, and event spaces to deliver high-quality dining experiences while maintaining operational efficiency.*
- *Effective waste management and servicing systems designed to minimise disruption.*

Based on our thorough review and expert assessment, 1834 Hotels is confident that the proposed hotel can operate successfully and sustainably. The plans demonstrate a strong alignment between operational needs and design, ensuring

a functional, upscale, and distinctive hospitality destination. We are committed to leveraging our expertise to ensure the long-term success of the Mount Lofty Golf Estate and its position as a benchmark in the luxury hospitality sector.”

Further review of interfaces and opportunities to integrate and merge the landscape into the built form and minimise the impact of an architectural response to the land.

The overall approach to site wide planning included segregation of vehicles from pedestrians, services vehicles versus guest arrival point and walkable connections within the main hotel / facilities / golf precinct. It also included additional design details and finishes such as the facilities carpark wall height, timber fins, earth mounds and landscape integration, to establish a more seamless connection between topography and built-form; one that is welcoming and encourages public engagement and is more responsive to the typography of the land.

Detailed consideration of all roofscapes, external materials selection, facade systems and green infrastructure in collaboration with landscape, structural and sustainability consultants to ensure delivery of the design intent.

Further review of strategies to break down the built form mass and bulk to ensure the effective integration of landscape and architecture.

In collaboration with Oxygen Landscape Architects, the roof terrace has been split into a lower terrace which now overlooks the arrival promenade and has direct access from inside the facilities building as well as pedestrian access from tee box 1. The upper terrace is designed for more intimate gatherings and functions overlooking fairway 1 and visual connection to the tree canopy to the south. The upper terrace has been shifted away from the arrival area to reduce overall building mass and scale-down the built form. In addition to this the detail for lower terrace balustrade has been redesigned to reduce overall wall height.

The upper terrace adopts the level difference created by head clearances required for services vehicles at loading dock.

Concrete and metal mesh previously proposed for the Facilities carpark has been substituted with timber fins and open sections in between. The façade has also been stepped along the terrace. The wall has been repositioned with more clearance to the main driveway to allow for additional tree planting. Ground levels have been readdressed to create opportunity for integrated and immersive landscape presentation.

Beyond these architectural and landscape design changes it is important to also acknowledge the following significant amendments to the proposal were made since DRP 3:

- Removal of the 17 accommodation pods and 1 service Pod, that previously were proposed to the west of the main Tourist Accommodation and Golf Club Facilities buildings.

- A reduction in the amount of native vegetation impacted from 1.716 hectares (ha) and 151 scattered trees to 0.757 ha and seven scattered trees. This equates to a reduction in the amount of native vegetation impacted of almost 1 ha and a 95% reduction in the amount of impacted scattered trees.
- A reduction in the Significant Environmental Benefit (SEB) Offset payment from \$615,436.80 to \$117,794.39 (includes admin fee) to account for the reduction in native vegetation proposed to be impacted.
- Reconfiguration of Perfumery Gardens and Orchard to retain additional trees.
- Additional detail regarding externally lit areas, together with night-time imagery of the proposal.
- Relocation and additional car parking for staff, now accessible from Old Carey Gully Road, to reduce forecast daily traffic movements on Golflinks Road.
- A new dedicated pedestrian trail adjacent Golflinks Road to increase pedestrian safety and separate cars from pedestrians.

In summary, significant design moves have been made to address the Government Architect's feedback and present a proposal that is worthy of the Government Architect's support.

2.4 Country Fire Service

The CFS noted that there appeared to be inconsistencies between the Succession Ecology Native Vegetation Clearance report comments and the required clearance to achieve the CFS' BAL 19 outcome. An amended Native Vegetation Clearance Report is provided at **Attachment F**. This report should rectify any discrepancies.

The CFS also noted:

"Considering the removal of the Pod from the development application and the need to establish the APZ around the Hotel/Golf Club Complex only, the SA CFS provides the amended conditions below. This is in addition to the conditions and comments regarding other elements of the application provided in our previous response".

The amended recommended conditions read:

"MAINTAIN AN ASSET PROTECTION ZONE (APZ) - VEGETATION MANAGEMENT

Vegetation management shall be established and maintained within 35 metres to the east and west of the Hotel/Golf Club Complex and within 20 metres to north and south of the Hotel/Golf Club Complex as follows:

1. *The number of trees and understorey plants existing and to be established within the APZ shall be reduced and maintained such that when considered overall a maximum foliage coverage of 30% is attained, and so that the leaf area*

of shrubs is not continuous. Careful selection of the vegetation will permit the 'clumping' of shrubs or trees where desirable, for diversity, and privacy and yet achieve the 'overall maximum coverage of 30% in all directions.' Vegetation remaining or to be established within the APZ shall be separated by a minimum of 5m from the surrounding hazardous vegetation. Mature trees may remain within the APZ, provided canopies are not connected to the surrounding hazardous vegetation.

2. Reduction of vegetation shall be in accordance with SA Native Vegetation Act 1991 and SA Native Vegetation Regulations 2017.

3. Trees and shrubs shall not be planted closer to the building(s) than the distance equivalent to their mature height.

4. Trees and shrubs must not overhang the roofline of the buildings, touch walls, windows or other elements of the building.

5. Shrubs must not be planted under trees or must be separated by at least 1.5 times their mature height from the trees' lowest branches.

6. Grasses within the zone shall be reduced to a maximum height of 10cm during the Fire Danger Season.

7. No understorey vegetation shall be established within 2 metres of the habitable buildings (understorey is defined as plants and bushes up to 2 metres in height).

8. Flammable objects such as plants, mulches and fences must not be located adjacent to vulnerable parts of the building such as windows, decks and eaves

9. The APZ shall be maintained to be free of accumulated dead vegetation."

The Applicant accepts all recommended conditions from the CFS.

2.5 Department of Environment and Water

The Department of Environment and Water (DEW) confirmed that:

"the amendments to the proposal to remove the 17 accommodation pods and 1 service pod, substantially reduces the overall native vegetation clearance impact of the proposed development" and that "the proponent has addressed matters raised during consultation, for example the willingness implement wildlife friendly lighting".

DEW sought the Development Report be revised to:

1. Confirm building footprint and ensure it is mapped accurately in the Native Vegetation Clearance Report. Update Native Vegetation Clearance Report to accurately demonstrate these areas of clearance and ensure the SEB calculations are accurate.

2. Amend the Weed Management Plan prepared by EP Projects to include reference to a staged approach to blackberry removal to minimise the impact on potential bandicoot habitat, while also meeting Declared Plant legislative requirements.

In response to DEW's comments the Development Report, Native Vegetation Clearance Report (**Attachment F**) and the Weed Management Plan (**Attachment G**) have been amended.

DEW's comments have therefore been addressed.

2.6 Native Vegetation Council

The following comments were provided by the Native Vegetation Council (NVC) to PLUS:

"The NVC notes the proposed development has been amended and significantly reduces the area of native vegetation clearance. The NVC has been unable to verify from the information provided that the SEB calculation is correct. Therefore, this response does not include approval the SEB calculation for the development in the response document.

The NVC would like to reiterate that the proponents will need to provide an updated application to the NVC regarding the SEB payment for the NVC to confirm it is correct and appropriate prior to any native vegetation clearance being undertaken".

As per the response to DEW, the Native Vegetation Clearance Report (**Attachment F**) has been amended. The Applicant accepts that an updated application to the NVC is required that confirms the SEB offset payment and that it is required for the NVC to confirm it is correct and appropriate prior to any native vegetation clearance being undertaken. The Applicant accepts that PLUS will forward the updated Native Vegetation Clearance Report to NVC in order for this confirmation to occur.

2.7 SA Health

The following comments were received by the Applicant via PLUS from the Manager, Wastewater Management, Public Health Division, SA Health dated 31 July 2024.

"I can provide comment on behalf of the Wastewater Management team at SA Health.

The on-site components of the wastewater management system have been considered in the proposal documents, however, will need a formal approval for the wastewater works from SA Health before commencing installation. In saying this, we do not see any concerns with the proposed system; although we need an application to be lodged and details provided to undertake a full assessment. The wastewater will then be directed to Adelaide Hills Council's CWMS network which

is with council to approve and is the preferred option rather than on-site wastewater disposal".

(Underlining added)

To address the above, the Applicant accepts the following conditions of consent be provided which state:

Prior to development approval, a wastewater application will be lodged with Adelaide Hills Council.

Prior to commencing installation of the proposed wastewater system approval from SA Health is required.

Therefore, the Applicant infers that SA Health's comments have been adequately addressed.

2.8 Adelaide Hills Council

In Council's letter dated 19th August 2024, the improvements to the proposal were acknowledged. However, Council remained concerned about "off-site" works including:

- The pedestrian pathway
- Golflinks Road upgrade works, specifically regarding potential impact to vegetation in the road reserve and on the golf course site.

Council sought that further information be requested of the Applicant. **Table 2** provides a summary of the request for information and the Applicant's response.

Table 2 – Applicant response to Council RFI

| Council RFI | Applicant Response |
|--|---|
| <p>1. A draft civil plan, based on a survey, showing the location of trees and existing infrastructure and the extent of the off-site works (the works) required for the amended proposal along Golflinks Road and Old Carey Gully Road. The plan should include the following works at a minimum:</p> <p>(a) new service connection locations;</p> <p>(b) road shoulder upgrades (including the widening adjacent to the pump station on Golflinks Road);</p> | <p>Refer Attachments D1-D3, E, J, L and M.</p> |



| Council RFI | Applicant Response |
|--|--|
| <p>(c) proposed modifications to existing Council infrastructure;</p> <p>(d) location of the additional storage capacity and required emergency storage to upgrade the pump station capacity and associated easement over Council land;</p> <p>(e) the location of the pedestrian pathway; and</p> <p>(f) upgrade of existing vehicle access points.</p> | |
| <p>2. A pre-development Arboricultural Impact Assessment Report prepared by a suitably qualified Arborist assessing the impact of the works in the draft civil plan on existing trees in both road reserves and, on private land adjacent to the road reserves.</p> | <p>The Applicant has confirmed the extent of likely vegetation impacts associated with the road upgrades and provided civil drawings which include existing trees. Refer to "Applicant's Response to Request for Further Information, under the heading vegetation impacts.</p> <p>An Arboricultural Impact Assessment is not required as the road reserve is in the Native Vegetation Overlay and not the Significant and Regulated Tree Overlay.</p> |
| <p>3. Provision of turn /swept paths for 12.5m buses and 19m articulated vehicles for all intersections, all corners on Golflinks Road and all access points. Turn paths are to include movements in all directions.</p> | <p>Refer to Attachment D3 which details swept / turn paths for 12.5m buses.</p> <p>During construction and operation there is no intent for 19m articulated vehicles to use Golflinks Road. Construction access for 19m articulated vehicles is provided via Old Carey Gully Road. As per SHEET # 11_SH01 of Attachment D2 – swept paths for a 19m articulated vehicle have been provided.</p> |
| <p>4. Formal written agreement from Mount Lofty Golf Estate Pty Ltd to enter into an Infrastructure Agreement and Land Management Agreement and bear the costs of</p> | <p>The Applicant accepts a condition of consent which stipulates that an Infrastructure Agreement and Land Management Agreement be prepared at the cost of the Applicant.</p> |

| Council RFI | Applicant Response |
|--|---|
| <p>preparation of these Agreements. As stated in the Council's original referral response and the Adelaide Hills Council Assessment Panel's representation, it is paramount that an Infrastructure Agreement for the infrastructure upgrades be negotiated, entered into and, registered on the Land prior to the Minister making a decision whether to grant Planning Consent to Mount Lofty Golf Estate Pty Ltd.</p> | <p>It is not accepted that this needs to be prepared prior to a decision being made on this Major Project Application. The exact details of an Infrastructure Agreement can be conditioned to allow for this project to move forward.</p> <p>As evidenced in this response letter, the Applicant continues to work with PLUS and Council to arrive at an outcome for this site.</p> <p>The purpose of upgrading Golflinks Road was borne from a desire to provide the Golflinks Road community with upgrade works to address concerns that the road is presently unsafe. Such upgrades are not technically necessary given the traffic evidence CIRQA presented in the Development Report.</p> <p>The level of detail provided in this response regarding infrastructure upgrades including the pump station, provides a good basis of which to commence these discussions. It is intended that these can occur in parallel to a decision being made.</p> <p>With respect to the pedestrian pathway, the majority is located on golf course land. Sections that traverse the road reserve are already existing.</p> |
| <p>5. Engineer design calculations and engineering confirmation that the pressure rating for the pumping main pipe to the Council pump station will cope with the increase flow rate.</p> | <p>Refer Attachment N which provides written confirmation from Council's CWMS Technical Officer who has reviewed FMG's calculations and confirmed "in principle support".</p> |
| <p>6. Written evidence from SA Water of the acceptance of the additional pump station flows required for the development.</p> | <p>Refer Attachment I.</p> |
| <p>7. Additionally, the original 16 conditions referred to in the report</p> | <p>Noted. The Applicant accepts all recommended conditions of consent.</p> |

| Council RFI | Applicant Response |
|---|--------------------|
| <p>accompanying the Council's referral response and the Adelaide Hills Council Assessment Panel's representation, remain as conditions of consent recommended, with two further conditions requested below should Planning Consent be granted:</p> <ul style="list-style-type: none"> - The Council capital connection contribution for the approved development is required to be paid prior to occupancy. - The augmentation costs associated with the pump station upgrade shall be paid by the developer. | |

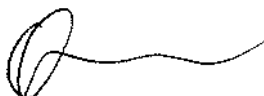
Conclusion

We trust that PLUS have enough information to proceed with their assessment on this application. Should you have any queries please call Matt or Chelsea on 8333 7999.

Yours sincerely



Matthew King
Managing Director

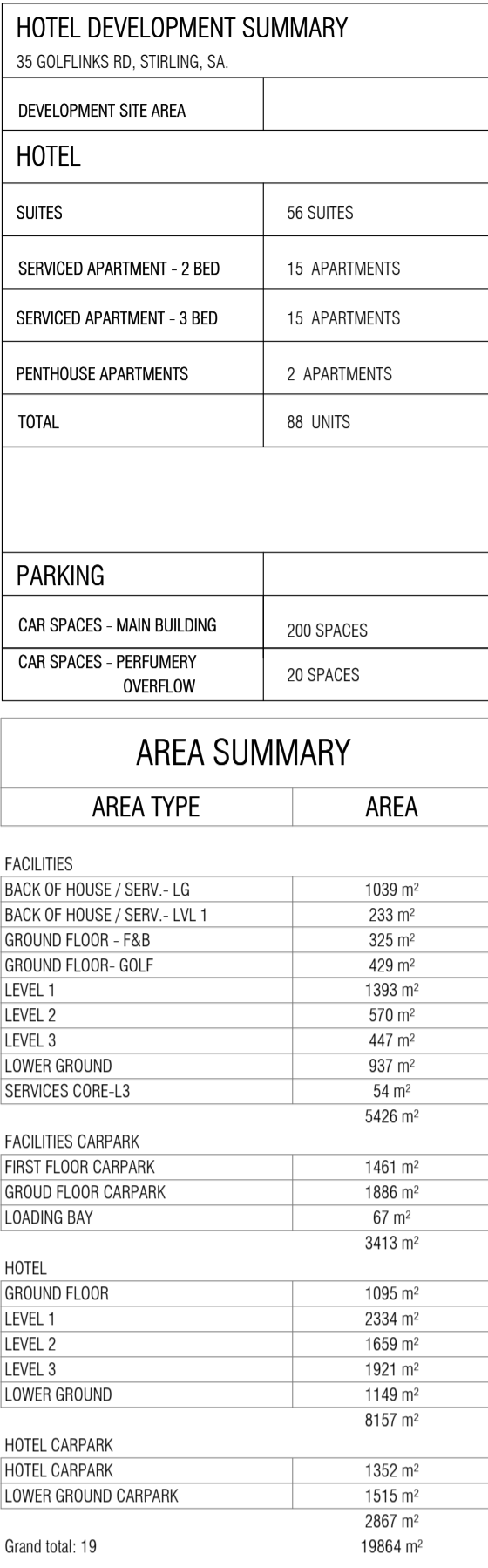


Chelsea Jurek
Principal Consultant

Attachment A – Amended Architectural Drawings



MOUNT LOFTY GOLF ESTATE

[illegible][illegible]PROJECT
MOUNT LOFT GOLF ESTATE

5 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1
Scale@A3
Date: 30.10.24

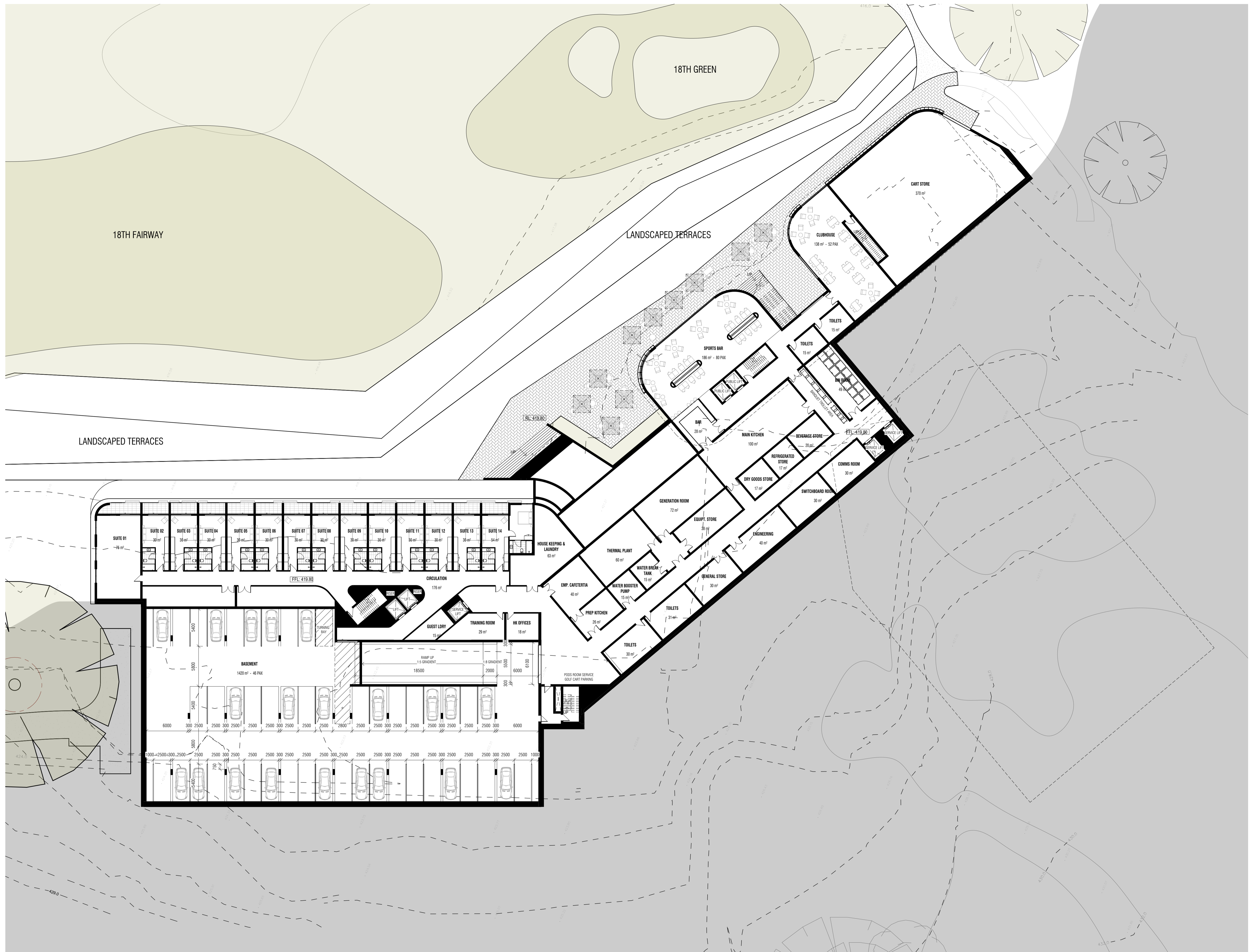
SHEET NAME
HOTEL MASTERPLAN

SHEET NO. _____ REVISION: _____

TP01

PRELIMINARY NOT FOR CONSTRUCTION



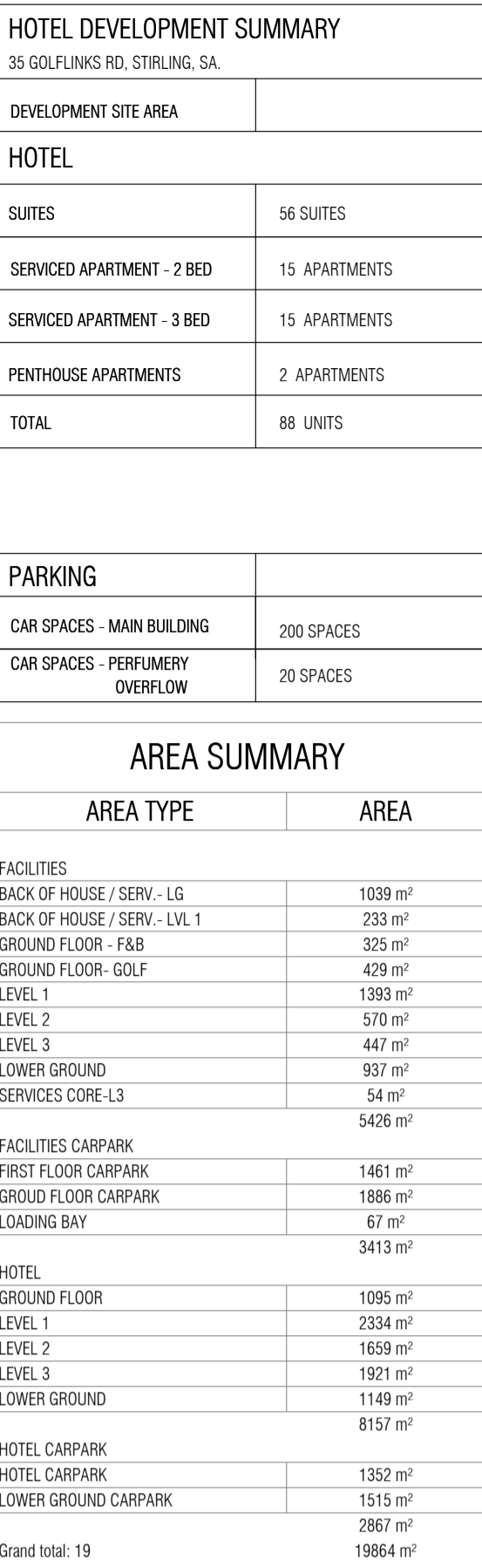


| AREA SUMMARY | | |
|------------------------------|--|----------------------|
| AREA TYPE | | AREA |
| FACILITIES | | |
| BACK OF HOUSE / SERV - LG | | 1039 m ² |
| BACK OF HOUSE / SERV - LVL 1 | | 233 m ² |
| GROUND FLOOR - F&B | | 325 m ² |
| GROUND FLOOR - GOLF | | 429 m ² |
| LEVEL 1 | | 1393 m ² |
| LEVEL 2 | | 570 m ² |
| LEVEL 3 | | 447 m ² |
| LOWER GROUND | | 937 m ² |
| SERVICES CORE-L3 | | 54 m ² |
| | | 5426 m ² |
| FACILITIES CARPARK | | |
| FIRST FLOOR CARPARK | | 1461 m ² |
| GROUND FLOOR CARPARK | | 1686 m ² |
| LOADING BAY | | 67 m ² |
| | | 3413 m ² |
| HOTEL | | |
| GROUND FLOOR | | 1095 m ² |
| LEVEL 1 | | 2334 m ² |
| LEVEL 2 | | 1659 m ² |
| LEVEL 3 | | 1921 m ² |
| LOWER GROUND | | 1149 m ² |
| | | 8157 m ² |
| HOTEL CARPARK | | |
| HOTEL CARPARK | | 1352 m ² |
| LOWER GROUND CARPARK | | 1515 m ² |
| | | 2867 m ² |
| | | 19864 m ² |
| Grand total: 19 | | |

The drawings are to be viewed with regard to the scale at which the document has been issued and for the specific purpose of use. The information contained within is considered to be correct at the time of documentation. As an uncontrolled document, RACHITECTURE accepts no responsibility for alterations by persons other than RACHITECTURE. RACHITECTURE does not warrant that any form of electronic media generated and provided by RACHITECTURE the Client agrees to use these drawings and data, in whole or in part, for any purpose or project other than the project which is the subject of this agreement. The Client agrees to waive all claims against RACHITECTURE resulting from the use of the drawings and data for any purpose or project other than the project for which they were generated by RACHITECTURE. In addition, the Client agrees to: (b) the fullest extent permitted by the law, to indemnify and hold RACHITECTURE harmless from any damage, liability, or cost, including costs of defense, arising from any changes made by the Client to the drawings and data, or from the use of the drawings and data without prior written consent of RACHITECTURE. By accepting and utilizing any drawings or other data in any form of electronic media generated and provided by RACHITECTURE, the Client agrees that all such drawings and data are instruments of service, and that the Client agrees to hold RACHITECTURE harmless from all claims and shall retain all common law, statutory law and other rights, including copyrights and Intellectual property.

R ARCHITECTURE

architecture | interior design | urban design | landscape
ph: 9032 0228 e: studio@rarchitecture.com.au

[illegible]

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OBJECT

MOUNT LOFT GOLF ESTATE

5 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1
Scale@A3
Date: 30.10.24

SHEET NAME

GROUND FLOOR PLAN

SHEET NO. _____ REVISION: _____

TP03

PRELIMINARY NOT FOR CONSTRUCTION



| AREA SUMMARY | |
|--------------|------|
| AREA TYPE | AREA |

| FACILITIES | |
|-------------------------------|---------------------|
| BACK OF HOUSE / SERV. - LG | 1039 m ² |
| BACK OF HOUSE / SERV. - LVL 1 | 233 m ² |
| GROUND FLOOR - F&B | 325 m ² |
| GROUND FLOOR - GOLF | 429 m ² |
| LEVEL 1 | 1393 m ² |
| LEVEL 2 | 570 m ² |
| LEVEL 3 | 447 m ² |
| LOWER GROUND | 937 m ² |
| SERVICES CORE-L3 | 54 m ² |
| | 5426 m ² |

| | |
|----------------------|---------------------|
| FACILITIES CARPARK | |
| FIRST FLOOR CARPARK | 1461 m ² |
| GROUND FLOOR CARPARK | 1886 m ² |
| LOADING BAY | 67 m ² |
| | 3413 m ² |

| | |
|--------------|---------------------|
| GROUND FLOOR | 1095 m ² |
| LEVEL 1 | 2334 m ² |
| LEVEL 2 | 1659 m ² |
| LEVEL 3 | 1921 m ² |
| LOWER GROUND | 1149 m ² |
| | 8157 m ² |

| | |
|----------------------|---------------------|
| HOTEL CARPARK | |
| HOTEL CARPARK | 1352 m ² |
| LOWER GROUND CARPARK | 1515 m ² |

| | |
|-----------------|----------------------|
| | 2867 m ² |
| Grand total: 19 | 19864 m ² |

| No. | Description | Date |
|-----|-------------------------------------|----------|
| | CONSULTANT REVIEW | 20.10.21 |
| | DA SUBMISSION | 01.12.21 |
| | DA - FURTHER INFORMATION DRAFT | 08.09.22 |
| | DA - FURTHER INFORMATION SUBMISSION | 29.11.22 |
| | DA - FURTHER INFORMATION SUBMISSION | 30.03.23 |
| | ODASA - RESPONSE CHANGES | 31.08.23 |

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PROJECT

MOUNT LOFT GOLF ESTATE

5 GOLF LINKS ROAD, STIRLING SA 5152

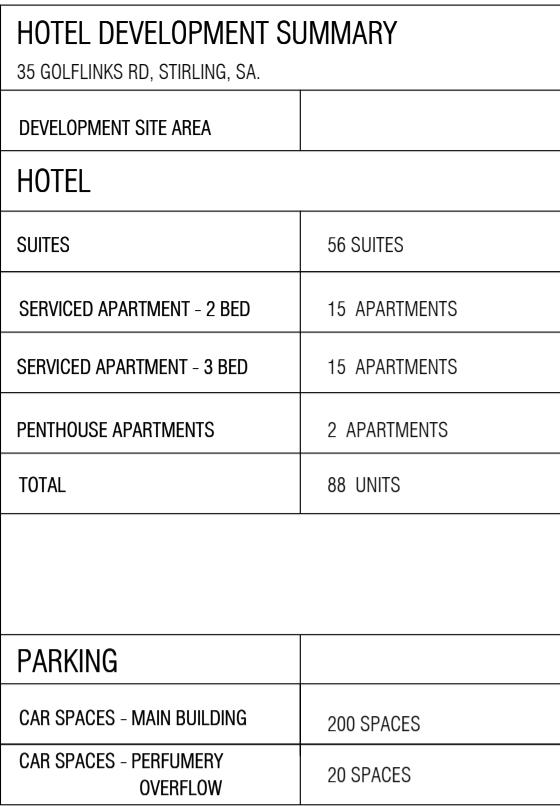
Scale@A1
Scale@A3
Date: 30.10.24

SHEET NAME
LEVEL 2 PLAN

SHEET NO. _____ REVISION: _____

TP05

PRELIMINARY NOT FOR CONSTRUCTION



| AREA SUMMARY | |
|--------------|------|
| AREA TYPE | AREA |

| FACILITIES | |
|-------------------------------|---------------------|
| BACK OF HOUSE / SERV. - LG | 1039 m ² |
| BACK OF HOUSE / SERV. - LVL 1 | 233 m ² |
| GROUND FLOOR - F&B | 325 m ² |
| GROUND FLOOR- GOLF | 429 m ² |
| LEVEL 1 | 1393 m ² |
| LEVEL 2 | 570 m ² |
| LEVEL 3 | 447 m ² |
| LOWER GROUND | 937 m ² |
| SERVICES CORE-L3 | 54 m ² |
| | 5426 m ² |

| | |
|----------------------|---------------------|
| FACILITIES CARPARK | |
| FIRST FLOOR CARPARK | 1461 m ² |
| GROUND FLOOR CARPARK | 1886 m ² |
| LOADING BAY | 67 m ² |
| | 3413 m ² |

| HOTEL | |
|--------------|---------------------|
| GROUND FLOOR | 1095 m ² |
| LEVEL 1 | 2334 m ² |
| LEVEL 2 | 1659 m ² |
| LEVEL 3 | 1921 m ² |
| LOWER GROUND | 1149 m ² |
| | 8157 m ² |

| | |
|----------------------|---------------------|
| HOTEL CARPARK | 1352 m ² |
| LOWER GROUND CARPARK | 1515 m ² |

Grand total: 19 19864 m²[illegible]

The drawings are to be viewed with regard to the scale of which the document has been issued and for the specific purpose of the issue. The information contained herein is considered to be correct at the time of documentation. As an uncontested fact, the Client agrees to accept full responsibility for all alterations by persons other than the Architect. By accepting and utilizing any drawings or other data or any form of electronic media generated and provided by ARCHITECTURE the Client agrees not to use these drawings and data, in whole or in part, for any purpose or project other than the project which is the subject of this agreement. The Client agrees to waive any and all claims, damages, and/or losses, including reasonable attorneys' fees, for any changes or reuse of the drawings and data for any other project by anyone other than ARCHITECTURE. In addition, the Client agrees, to the fullest extent permitted by the law, to indemnify and hold ARCHITECTURE harmless from any damage, liability, or cost, including costs of defense, arising from any changes made by anyone other than ARCHITECTURE or from the reuse of drawings and data, without prior written consent of ARCHITECTURE or ARCHITECTURE. By accepting and utilizing any drawings or other data on any form of electronic media generated and provided by ARCHITECTURE, the Client agrees that all such drawings and data are instruments of service, and that they shall remain the property of ARCHITECTURE. ARCHITECTURE and its staff shall retain all common law, statutory law and other rights, including copyrights and Intellectual Property.

PROJECT
MOUNT LOFT GOLF ESTATE

5 GOLF LINKS ROAD, STIRLING SA 5152

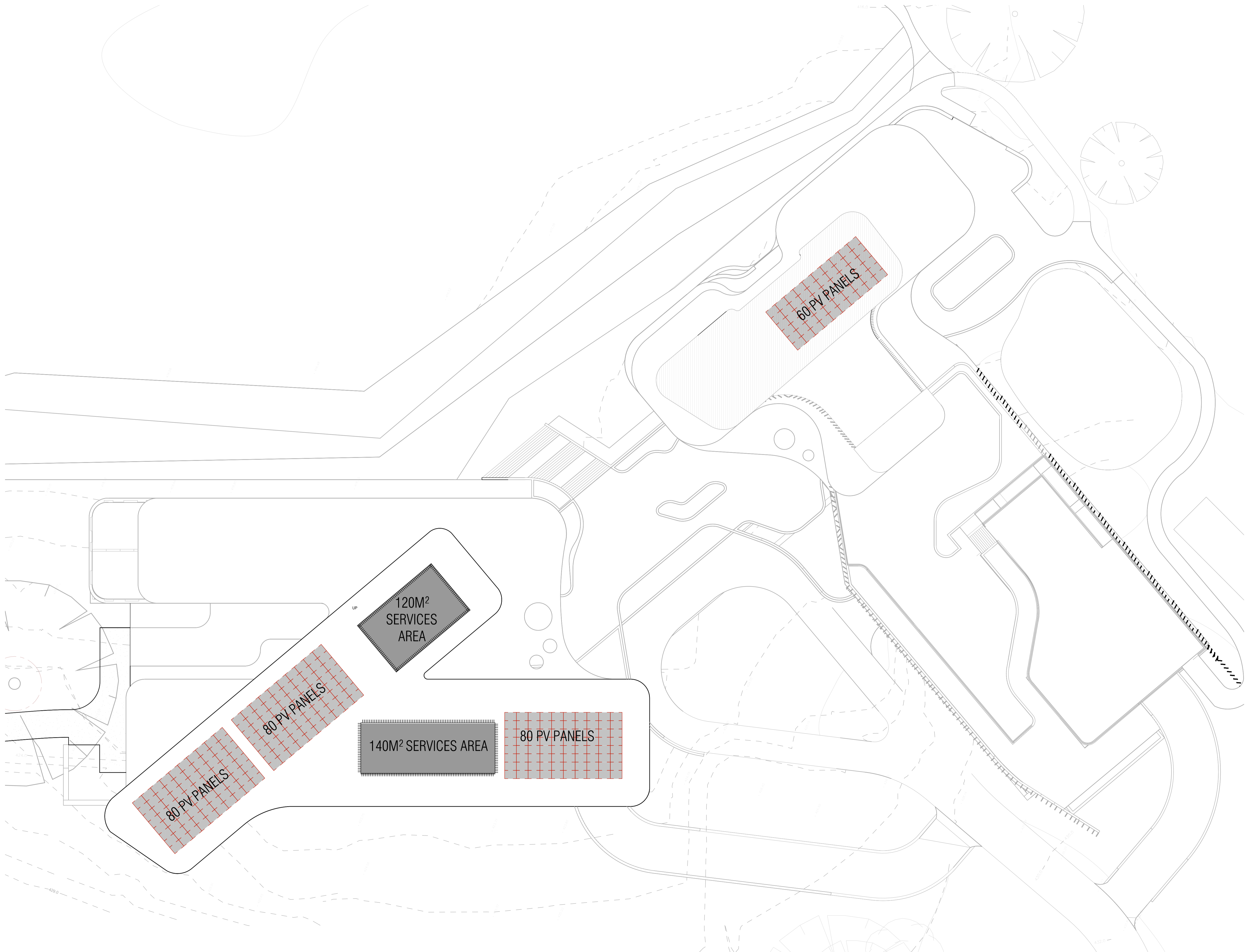
Scale@A1
Scale@A3
Date: 30.10.24

SHEET NAME
LEVEL 3 PLAN

SHEET NO. _____ REVISION: _____

TP06

PRELIMINARY NOT FOR CONSTRUCTION

[illegible]

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PROJECT
MOUNT LOFT GOLF ESTATE

5 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1
Scale@A3
Date: 30.10.24

SHEET NAME
ROOF PLAN

SHEET NO. _____ REVISION: _____

TP07

PRELIMINARY NOT FOR CONSTRUCTION





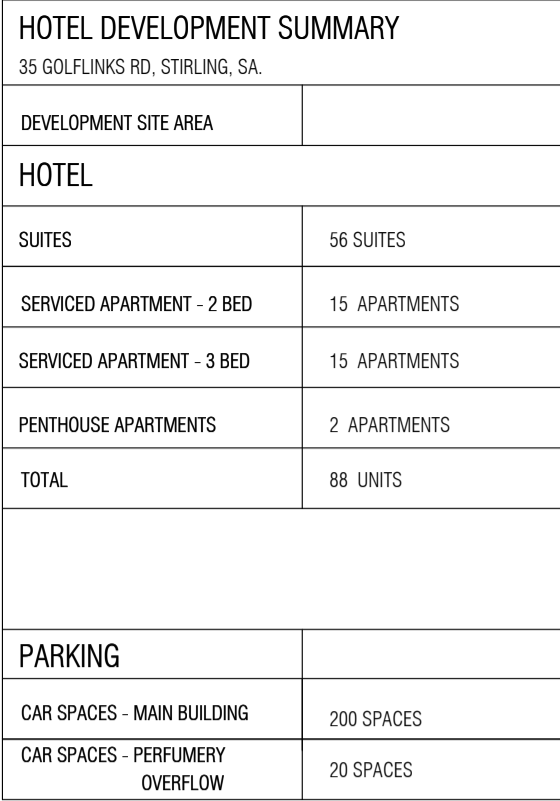
AREA SUMMARY

[illegible]

The drawings are to be viewed with regard to the scale while the information contained therein is not to be construed as a representation of the actual size of the drawings. The drawings are issued and for the specific purpose of the use of the information contained therein. The drawings are not to be construed as a representation of the actual size of the drawings. RACHITECTURE accepts no responsibility for alterations by persons outside of RACHITECTURE. By accepting and utilizing any drawings or other data or any form of electronic media generated and provided by RACHITECTURE the Client agrees to use these drawings and data, in whole or in part, for any purpose or project other than that specifically intended by RACHITECTURE. RACHITECTURE shall not be held responsible against RACHITECTURE resulting in any way from any use of any unauthorised changes or reuse of the drawings and data for any other project by anyone other than RACHITECTURE. In addition, the Client agrees, to the fullest extent permitted by the law, to indemnify and hold RACHITECTURE harmless from any damage, loss, liability or expense, including reasonable attorneys' fees, incurred by RACHITECTURE or anyone other than RACHITECTURE from any reuse of the drawings and data other than that specifically intended by RACHITECTURE. By accepting and utilizing any drawings or other data on any form of electronic media generated and provided by RACHITECTURE, the Client agrees that all such drawings and data are instruments or documents of RACHITECTURE and shall remain the property of RACHITECTURE and shall retain all common law, statutory law and other rights, including copyrights and intellectual property.

R ARCHITECTURE

architecture | interior design | urban design | landscape
ph: 9002 0220 e: studio@rarchitecture.com.au



| AREA SUMMARY | |
|--------------|------|
| AREA TYPE | AREA |

| FACILITIES | |
|-------------------------------|---------------------|
| BACK OF HOUSE / SERV. - LG | 1039 m ² |
| BACK OF HOUSE / SERV. - LVL 1 | 233 m ² |
| GROUND FLOOR - F&B | 325 m ² |
| GROUND FLOOR- GOLF | 429 m ² |
| LEVEL 1 | 1393 m ² |
| LEVEL 2 | 570 m ² |
| LEVEL 3 | 447 m ² |
| LOWER GROUND | 937 m ² |
| SERVICES CORE-L3 | 54 m ² |
| | 5426 m ² |

| | |
|----------------------|---------------------|
| FACILITIES CARPARK | |
| FIRST FLOOR CARPARK | 1461 m ² |
| GROUND FLOOR CARPARK | 1886 m ² |
| LOADING BAY | 67 m ² |
| | 3413 m ² |

| | | |
|--------------|--|---------------------|
| HOTEL | | 5176 m ² |
| GROUND FLOOR | | 1095 m ² |
| LEVEL 1 | | 2334 m ² |
| LEVEL 2 | | 1659 m ² |
| LEVEL 3 | | 1921 m ² |
| LOWER GROUND | | 1149 m ² |
| | | 8157 m ² |

| | |
|----------------------|----------------------|
| HOTEL CARPARK | |
| HOTEL CARPARK | 1352 m ² |
| LOWER GROUND CARPARK | 1515 m ² |
| | 2867 m ² |
| Grand total: 19 | 19864 m ² |

| No. | Description | Date |
|-----|-------------------------------------|----------|
| A | CONSULTANT REVIEW | 20.10.21 |
| B | DA SUBMISSION | 01.12.21 |
| C | DA - FURTHER INFORMATION, DRAFT | 08.09.22 |
| D | DA - FURTHER INFORMATION SUBMISSION | 29.11.22 |
| E | DA- FURTHER INFORMATION SUBMISSION | 30.03.23 |
| F | ODASA - RESPONSE CHANGES | 31.08.23 |

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PROJECT
MOUNT LOFT GOLF ESTATE

5 GOLF LINKS ROAD, STIRLING SA 5152

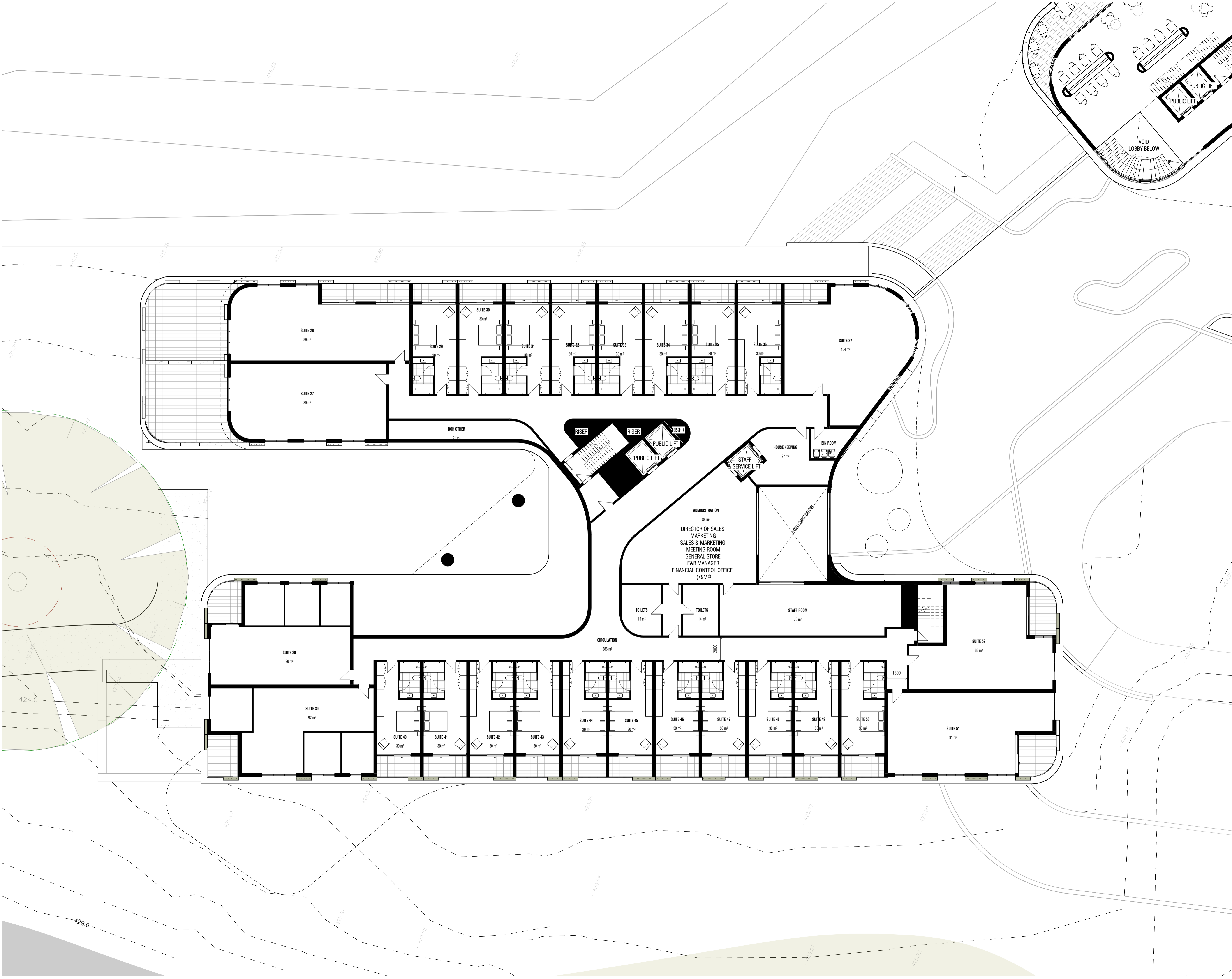
Scale@A1
Scale@A3
Date: 30.10.24

SHEET NAME
HOTEL GROUND FLOOR PLAN

SHEET NO. _____ REVISION: _____

TP09 |

PRELIMINARY NOT FOR CONSTRUCTION



HOTEL DEVELOPMENT SUMMARY

35 GOLF LINKS RD, STIRLING, SA.

DEVELOPMENT SITE AREA

HOTEL

| | |
|----------------------------|---------------|
| SUITES | 56 SUITES |
| SERVICED APARTMENT - 2 BED | 15 APARTMENTS |
| SERVICED APARTMENT - 3 BED | 15 APARTMENTS |
| PENTHOUSE APARTMENTS | 2 APARTMENTS |
| TOTAL | 88 UNITS |

PARKING

| | |
|---------------------------------|------------|
| CAR SPACES - MAIN BUILDING | 200 SPACES |
| CAR SPACES - PERFUMERY OVERFLOW | 20 SPACES |

AREA SUMMARY

| AREA TYPE | AREA |
|-----------|------|
|-----------|------|

| | |
|------------------------------|---------|
| FACILITIES | |
| BACK OF HOUSE / SERV - LG | 1039 m² |
| BACK OF HOUSE / SERV - LVL 1 | 238 m² |
| GROUND FLOOR - F&B | 326 m² |
| GROUND FLOOR - GOLF | 429 m² |
| LEVEL 1 | 1393 m² |
| LEVEL 2 | 570 m² |
| LEVEL 3 | 447 m² |
| LOWER GROUND | 937 m² |
| SERVICES CORE-L3 | 54 m² |
| | 5426 m² |

| | |
|----------------------|---------|
| FACILITIES CARPARK | |
| FIRST FLOOR CARPARK | 1461 m² |
| GROUND FLOOR CARPARK | 1886 m² |
| LOADING BAY | 67 m² |
| | 3413 m² |

| | |
|--------------|---------|
| HOTEL | |
| GROUND FLOOR | 1095 m² |
| LEVEL 1 | 2334 m² |
| LEVEL 2 | 1659 m² |
| LEVEL 3 | 1921 m² |
| LOWER GROUND | 1149 m² |
| | 8157 m² |

| | |
|----------------------|----------|
| HOTEL CARPARK | |
| HOTEL CARPARK | 1352 m² |
| LOWER GROUND CARPARK | 1515 m² |
| | 2867 m² |
| Grand total: 19 | 19864 m² |

| No. | Description | Date |
|-----|-------------------------------------|----------|
| A | CONSULTANT REVIEW | 20.10.21 |
| B | DA SUBMISSION | 01.12.21 |
| C | DA - FURTHER INFORMATION, DRAFT | 08.09.22 |
| D | DA - FURTHER INFORMATION SUBMISSION | 29.11.22 |
| E | DA - FURTHER INFORMATION SUBMISSION | 30.03.23 |
| F | ODASA - RESPONSE CHANGES | 31.08.23 |

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PROJECT

MOUNT LOFT GOLF ESTATE

ADDRESS

35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1

Scale@A3

Date:

30.10.24

SHEET NAME

HOTEL_LEVEL 1 PLAN

SHEET NO.

REVISION:

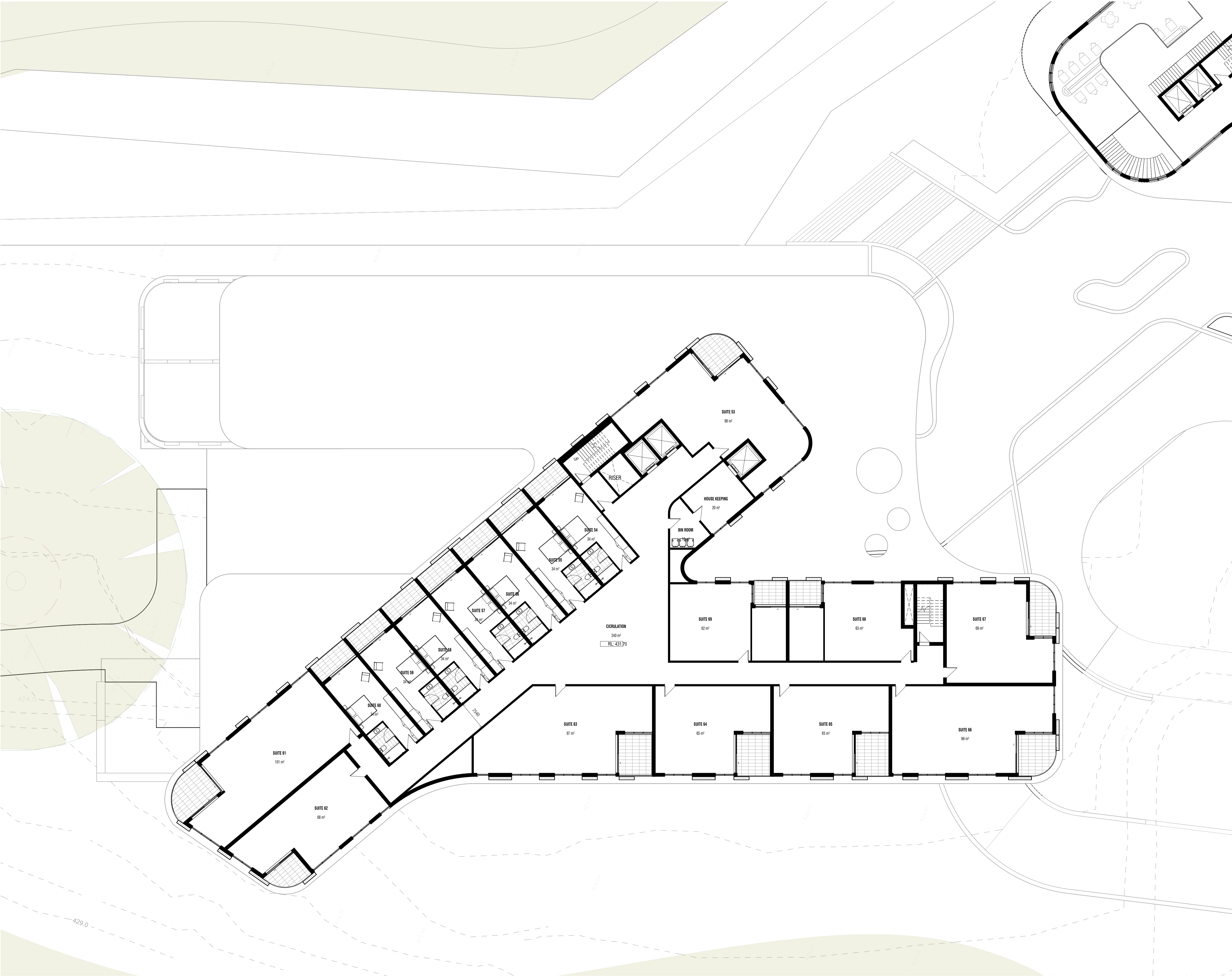
1

TP10

PRELIMINARY NOT FOR CONSTRUCTION



architectural | interior design | urban design | landscape
ph: 8802 0229 e: info@practichitecture.com.au



HOTEL DEVELOPMENT SUMMARY

35 GOLFLINKS RD, STIRLING, SA.

DEVELOPMENT SITE AREA

HOTEL

| | |
|----------------------------|---------------|
| SUITES | 56 SUITES |
| SERVICED APARTMENT - 2 BED | 15 APARTMENTS |
| SERVICED APARTMENT - 3 BED | 15 APARTMENTS |
| PENTHOUSE APARTMENTS | 2 APARTMENTS |
| TOTAL | 88 UNITS |

PARKING

| | |
|---------------------------------|------------|
| CAR SPACES - MAIN BUILDING | 200 SPACES |
| CAR SPACES - PERFUMERY OVERFLOW | 20 SPACES |

AREA SUMMARY

| AREA TYPE | AREA |
|-----------|------|
|-----------|------|

FACILITIES

| | |
|-------------------------------|---------|
| BACK OF HOUSE / SERV. - LG | 1039 m² |
| BACK OF HOUSE / SERV. - LVL 1 | 233 m² |
| GROUND FLOOR - F&B | 325 m² |
| GROUND FLOOR- GOLF | 429 m² |
| LEVEL 1 | 1393 m² |
| LEVEL 2 | 570 m² |
| LEVEL 3 | 447 m² |
| LOWER GROUND | 937 m² |
| SERVICES CORE-L3 | 54 m² |
| | 5426 m² |

FACILITIES CARPARK

| | |
|---------------------|---------|
| FIRST FLOOR CARPARK | 1461 m² |
| GROUD FLOOR CARPARK | 1886 m² |
| LOADING BAY | 67 m² |
| | 3413 m² |

HOTEL

| | |
|--------------|---------|
| GROUND FLOOR | 1095 m² |
| LEVEL 1 | 2334 m² |
| LEVEL 2 | 1659 m² |
| LEVEL 3 | 1921 m² |
| LOWER GROUND | 1149 m² |
| | 8157 m² |

HOTEL CARPARK

| | |
|----------------------|---------|
| HOTEL CARPARK | 1352 m² |
| LOWER GROUND CARPARK | 1515 m² |
| | 2867 m² |

Grand total: 19

| No. | Description | Date |
|-----|-------------------------------------|----------|
| A | CONSULTANT REVIEW | 20.10.21 |
| B | DA SUBMISSION | 01.12.21 |
| C | DA - FURTHER INFORMATION, DRAFT | 08.09.22 |
| D | DA - FURTHER INFORMATION SUBMISSION | 29.11.22 |
| E | DA- FURTHER INFORMATION SUBMISSION | 30.03.23 |
| F | ODASA - RESPONSE CHANGES | 31.08.23 |

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PROJECT

MOUNT LOFT GOLF ESTATE

ADDRESS

35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1

Scale@A3

Date:

30.10.24

SHEET NAME

HOTEL_LEVEL 2 PLAN

SHEET NO.

REVISION:

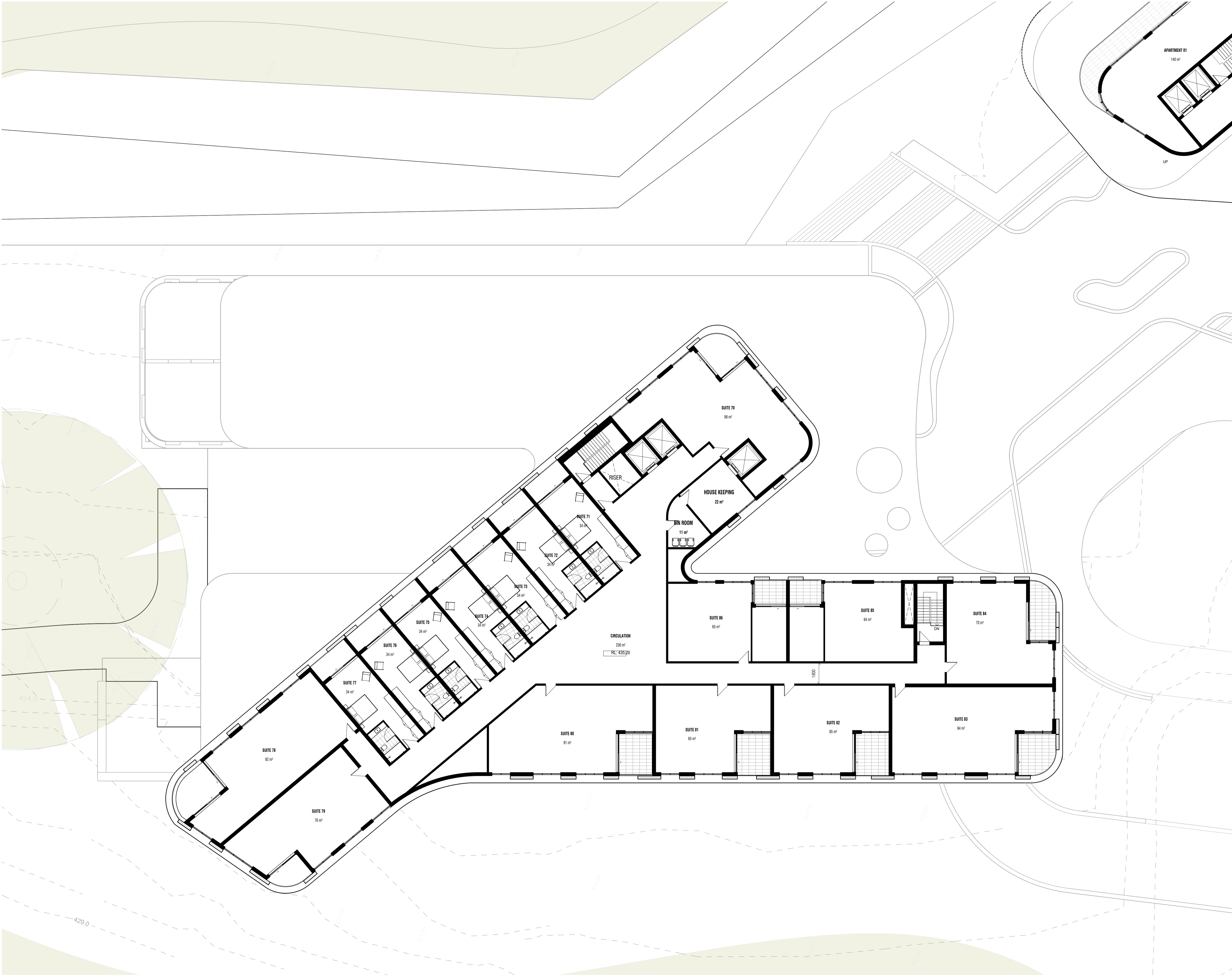
TP11

1

PRELIMINARY NOT FOR CONSTRUCTION



architecture | interior design | urban design | landscape
ph: 8882 6229 e: info@rprarchitecture.com.au



HOTEL DEVELOPMENT SUMMARY

35 GOLFLINKS RD, STIRLING, SA.

DEVELOPMENT SITE AREA

HOTEL

| | |
|----------------------------|---------------|
| SUITES | 56 SUITES |
| SERVICED APARTMENT - 2 BED | 15 APARTMENTS |
| SERVICED APARTMENT - 3 BED | 15 APARTMENTS |
| PENTHOUSE APARTMENTS | 2 APARTMENTS |
| TOTAL | 88 UNITS |

PARKING

| | |
|---------------------------------|------------|
| CAR SPACES - MAIN BUILDING | 200 SPACES |
| CAR SPACES - PERFUMERY OVERFLOW | 20 SPACES |

AREA SUMMARY

| AREA TYPE | AREA |
|-----------|------|
|-----------|------|

FACILITIES

| | |
|-------------------------------|---------|
| BACK OF HOUSE / SERV. - LG | 1039 m² |
| BACK OF HOUSE / SERV. - LVL 1 | 233 m² |
| GROUND FLOOR - F&B | 325 m² |
| GROUND FLOOR- GOLF | 429 m² |
| LEVEL 1 | 1393 m² |
| LEVEL 2 | 570 m² |
| LEVEL 3 | 447 m² |
| LOWER GROUND | 937 m² |
| SERVICES CORE-L3 | 54 m² |
| | 5426 m² |

FACILITIES CARPARK

| | |
|----------------------|---------|
| FIRST FLOOR CARPARK | 1461 m² |
| GROUND FLOOR CARPARK | 1886 m² |
| LOADING BAY | 67 m² |
| | 3413 m² |

HOTEL

| | |
|--------------|---------|
| GROUND FLOOR | 1095 m² |
| LEVEL 1 | 2334 m² |
| LEVEL 2 | 1659 m² |
| LEVEL 3 | 1921 m² |
| LOWER GROUND | 1149 m² |
| | 8157 m² |

HOTEL CARPARK

| | |
|----------------------|----------|
| HOTEL CARPARK | 1352 m² |
| LOWER GROUND CARPARK | 1515 m² |
| | 2867 m² |
| Grand total: 19 | 19864 m² |

| No. | Description | Date |
|-----|-------------------------------------|----------|
| A | CONSULTANT REVIEW | 20.10.21 |
| B | DA SUBMISSION | 01.12.21 |
| C | DA - FURTHER INFORMATION, DRAFT | 08.09.22 |
| D | DA - FURTHER INFORMATION SUBMISSION | 29.11.22 |
| E | DA- FURTHER INFORMATION SUBMISSION | 30.03.23 |
| F | ODASA - RESPONSE CHANGES | 31.08.23 |

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PROJECT

MOUNT LOFT GOLF ESTATE

ADDRESS

35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1

Scale@A3

Date:

30.10.24

SHEET NAME

HOTEL_LEVEL 3 PLAN

SHEET NO.

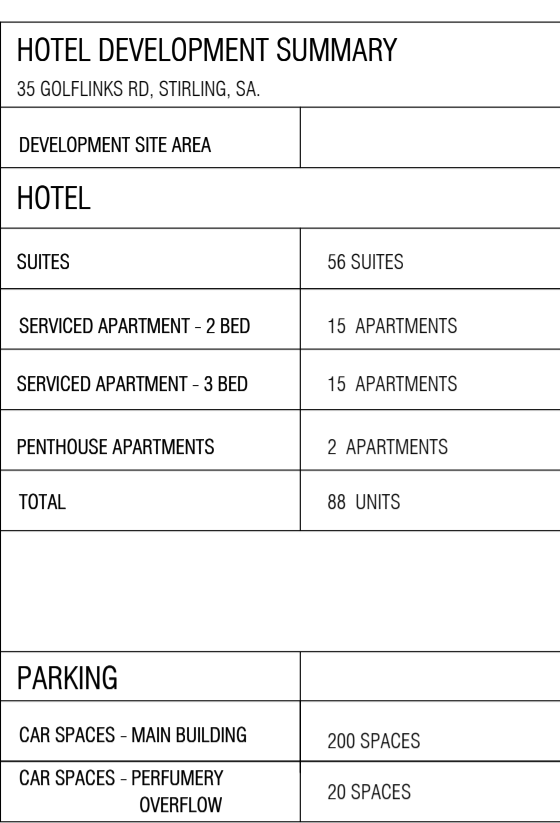
REVISION:

TP12

PRELIMINARY NOT FOR CONSTRUCTION



architecture | interior design | urban design | landscape
ph: 8882 6229 e: info@rprarchitecture.com.au



| AREA SUMMARY | |
|--------------|------|
| AREA TYPE | AREA |

| FACILITIES | |
|-------------------------------|---------|
| BACK OF HOUSE / SERV. - LG | 1039 m² |
| BACK OF HOUSE / SERV. - LVL 1 | 233 m² |
| GROUND FLOOR - F&B | 325 m² |
| GROUND FLOOR- GOLF | 429 m² |
| LEVEL 1 | 1393 m² |
| LEVEL 2 | 570 m² |
| LEVEL 3 | 447 m² |
| LOWER GROUND | 937 m² |
| SERVICES CORE-L3 | 54 m² |
| | 5426 m² |

| | |
|----------------------|---------------------|
| FACILITIES CARPARK | |
| FIRST FLOOR CARPARK | 1461 m ² |
| GROUND FLOOR CARPARK | 1886 m ² |
| LOADING BAY | 67 m ² |
| | 3413 m ² |

| | | |
|--------------|--|---------------------|
| HOTEL | | 5176 m ² |
| GROUND FLOOR | | 1095 m ² |
| LEVEL 1 | | 2334 m ² |
| LEVEL 2 | | 1659 m ² |
| LEVEL 3 | | 1921 m ² |
| LOWER GROUND | | 1149 m ² |
| | | 8157 m ² |

| | |
|----------------------|----------------------|
| HOTEL CARPARK | |
| HOTEL CARPARK | 1352 m ² |
| LOWER GROUND CARPARK | 1515 m ² |
| | 2867 m ² |
| Grand total: 19 | 19864 m ² |

| No. | Description | Date |
|-----|-------------------------------------|----------|
| A | CONSULTANT REVIEW | 20.10.21 |
| B | DA SUBMISSION | 01.12.21 |
| C | DA - FURTHER INFORMATION, DRAFT | 08.09.22 |
| D | DA - FURTHER INFORMATION SUBMISSION | 29.11.22 |
| E | DA- FURTHER INFORMATION SUBMISSION | 30.03.23 |
| F | ODASA - RESPONSE CHANGES | 31.08.23 |

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PROJECT
MOUNT LOFT GOLF ESTATE

5 GOLF LINKS ROAD, STIRLING SA 5152

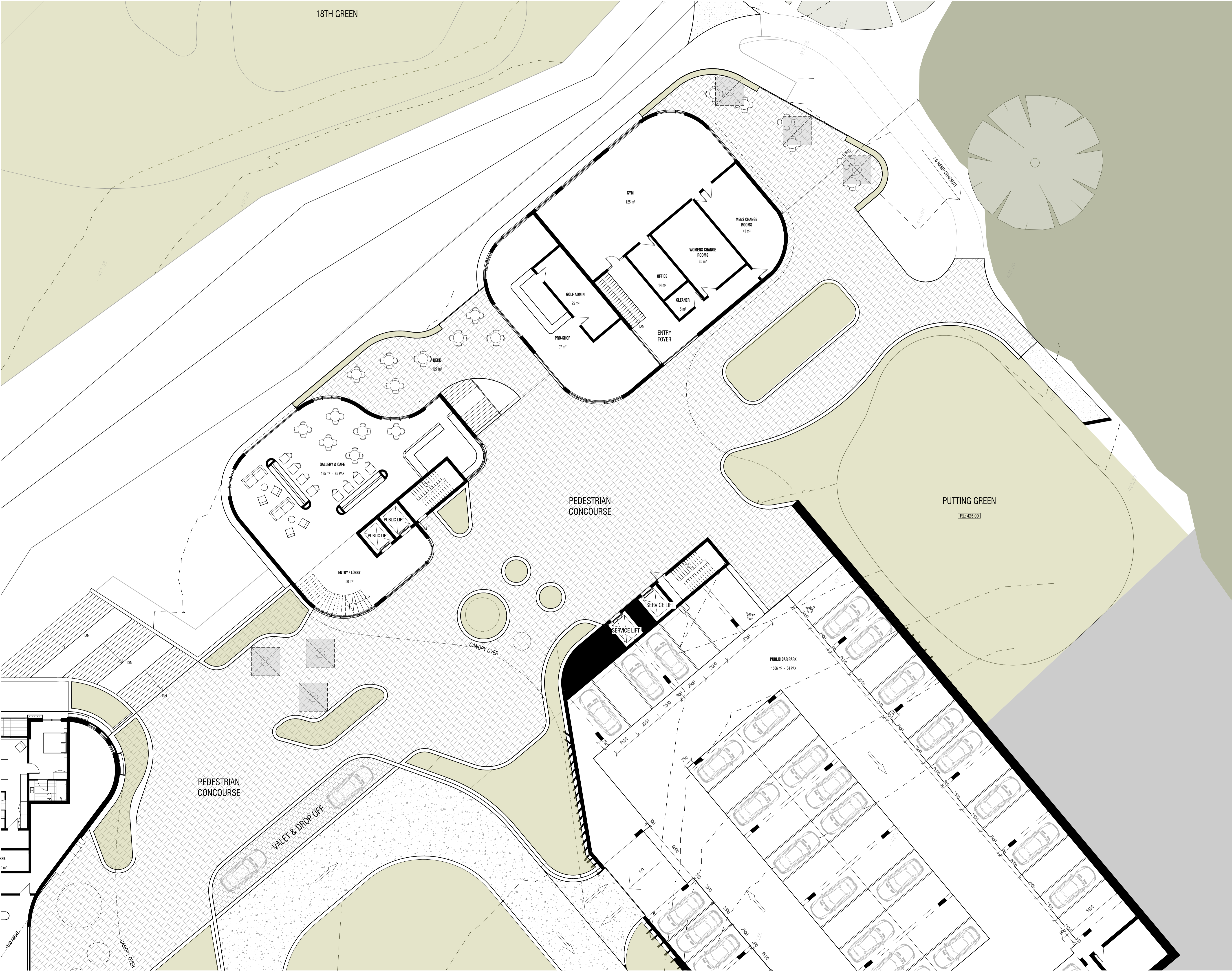
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|----------|----------|---|
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| Scale@A3 | 1:150 | |
| Date: | 30.10.24 | |

SHEET NAME
FACILITIES LOWER GROUND FLOOR

SHEET NO. _____ REVISION: _____

TP13

PRELIMINARY NOT FOR CONSTRUCTION



HOTEL DEVELOPMENT SUMMARY

35 GOLFLINKS RD, STIRLING, SA

DEVELOPMENT SITE AREA

HOTEL

| | |
|----------------------------|---------------|
| SUITES | 56 SUITES |
| SERVICED APARTMENT - 2 BED | 15 APARTMENTS |
| SERVICED APARTMENT - 3 BED | 15 APARTMENTS |
| PENTHOUSE APARTMENTS | 2 APARTMENTS |
| TOTAL | 88 UNITS |

PARKING

| | |
|---------------------------------|------------|
| CAR SPACES - MAIN BUILDING | 200 SPACES |
| CAR SPACES - PERFUMERY OVERFLOW | 20 SPACES |

AREA SUMMARY

| AREA TYPE | AREA |
|-----------|------|
|-----------|------|

FACILITIES

| | |
|------------------------------|---------|
| BACK OF HOUSE / SERV - LG | 1039 m² |
| BACK OF HOUSE / SERV - LVL 1 | 238 m² |
| GROUND FLOOR - F&B | 325 m² |
| GROUND FLOOR - GOLF | 429 m² |
| LEVEL 1 | 1393 m² |
| LEVEL 2 | 570 m² |
| LEVEL 3 | 447 m² |
| LOWER GROUND | 937 m² |
| SERVICES CORE-L3 | 54 m² |
| | 5426 m² |

FACILITIES CARPARK

| | |
|----------------------|---------|
| FIRST FLOOR CARPARK | 1461 m² |
| GROUND FLOOR CARPARK | 1886 m² |
| LOADING BAY | 67 m² |
| | 3413 m² |

HOTEL

| | |
|--------------|---------|
| GROUND FLOOR | 1095 m² |
| LEVEL 1 | 2334 m² |
| LEVEL 2 | 1659 m² |
| LEVEL 3 | 1921 m² |
| LOWER GROUND | 1149 m² |
| | 8157 m² |

HOTEL CARPARK

| | |
|----------------------|---------|
| HOTEL CARPARK | 1352 m² |
| LOWER GROUND CARPARK | 1515 m² |
| | 2867 m² |

Grand total: 19

| No. | Description | Date |
|-----|-------------------------------------|----------|
| A | CONSULTANT REVIEW | 20.10.21 |
| B | DA SUBMISSION | 01.12.21 |
| C | DA - FURTHER INFORMATION DRAFT | 08.09.22 |
| D | DA - FURTHER INFORMATION SUBMISSION | 29.11.22 |
| E | DA - FURTHER INFORMATION SUBMISSION | 30.03.23 |
| F | ODASA - RESPONSE CHANGES | 31.08.23 |

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PROJECT

MOUNT LOFT GOLF ESTATE

ADDRESS

35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1

Scale@A3

Date:

30.10.24

SHEET NAME

FACILITIES_GROUND FLOOR PLAN

SHEET NO.

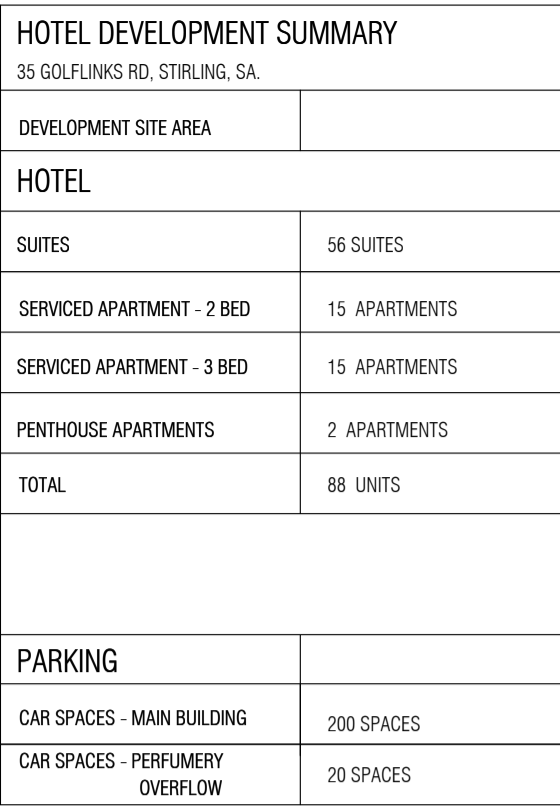
REVISION:

TP14

PRELIMINARY NOT FOR CONSTRUCTION



architectural | interior design | urban design | landscape
ph: 8882 6225 e: info@rarchitecture.com.au



| AREA SUMMARY | |
|--------------|------|
| AREA TYPE | AREA |

| FACILITIES | |
|-------------------------------|---------------------|
| BACK OF HOUSE / SERV. - LG | 1039 m ² |
| BACK OF HOUSE / SERV. - LVL 1 | 233 m ² |
| GROUND FLOOR - F&B | 325 m ² |
| GROUND FLOOR- GOLF | 429 m ² |
| LEVEL 1 | 1393 m ² |
| LEVEL 2 | 570 m ² |
| LEVEL 3 | 447 m ² |
| LOWER GROUND | 937 m ² |
| SERVICES CORE-L3 | 54 m ² |
| | 5426 m ² |

| | |
|---------------------|---------------------|
| FACILITIES CARPARK | |
| FIRST FLOOR CARPARK | 1461 m ² |
| GROUD FLOOR CARPARK | 1886 m ² |
| LOADING BAY | 67 m ² |
| | 3413 m ² |

| HOTEL | |
|--------------|---------------------|
| GROUND FLOOR | 1095 m ² |
| LEVEL 1 | 2334 m ² |
| LEVEL 2 | 1659 m ² |
| LEVEL 3 | 1921 m ² |
| LOWER GROUND | 1149 m ² |
| | 8157 m ² |

| | |
|----------------------|----------------------|
| HOTEL CARPARK | |
| HOTEL CARPARK | 1352 m ² |
| LOWER GROUND CARPARK | 1515 m ² |
| | 2867 m ² |
| Grand total: 19 | 19864 m ² |

| No. | Description | Date |
|-----|-------------------------------------|----------|
| A | CONSULTANT REVIEW | 20.10.21 |
| B | DA SUBMISSION | 01.12.21 |
| C | DA - FURTHER INFORMATION DRAFT | 08.09.22 |
| D | DA - FURTHER INFORMATION SUBMISSION | 29.11.22 |
| E | DA - FURTHER INFORMATION SUBMISSION | 30.03.23 |
| F | ODASA - RESPONSE CHANGES | 31.08.23 |

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PROJECT
MOUNT LOFT GOLF ESTATE

5 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1
Scale@A3
Date: 30.10.24

SHEET NAME
FACILITIES_LEVEL 1 PLAN

SHEET NO. _____ REVISION: _____

TP15

PRELIMINARY NOT FOR CONSTRUCTION



| AREA SUMMARY | |
|--------------|------|
| AREA TYPE | AREA |

| FACILITIES | |
|------------------------------|---------------------|
| BACK OF HOUSE / SERV.- LG | 1039 m ² |
| BACK OF HOUSE / SERV.- LVL 1 | 233 m ² |
| GROUND FLOOR - F&B | 325 m ² |
| GROUND FLOOR- GOLF | 429 m ² |
| LEVEL 1 | 1393 m ² |
| LEVEL 2 | 570 m ² |
| LEVEL 3 | 447 m ² |
| LOWER GROUND | 937 m ² |
| SERVICES CORE-L3 | 54 m ² |
| | 5426 m ² |

| | |
|----------------------|---------------------|
| FACILITIES CARPARK | |
| FIRST FLOOR CARPARK | 1461 m ² |
| GROUND FLOOR CARPARK | 1886 m ² |
| LOADING BAY | 67 m ² |
| | 3413 m ² |

| HOTEL | |
|--------------|---------------------|
| GROUND FLOOR | 1095 m ² |
| LEVEL 1 | 2334 m ² |
| LEVEL 2 | 1659 m ² |
| LEVEL 3 | 1921 m ² |
| LOWER GROUND | 1149 m ² |
| | 8157 m ² |

| | |
|----------------------|----------------------|
| HOTEL CARPARK | |
| HOTEL CARPARK | 1352 m ² |
| LOWER GROUND CARPARK | 1515 m ² |
| | 2867 m ² |
| Grand total: 19 | 19864 m ² |

| No. | Description | Date |
|-----|-------------------------------------|----------|
| A | CONSULTANT REVIEW | 20.10.21 |
| B | DA SUBMISSION | 01.12.21 |
| C | DA - FURTHER INFORMATION DRAFT | 08.09.22 |
| D | DA - FURTHER INFORMATION SUBMISSION | 29.11.22 |
| E | DA - FURTHER INFORMATION SUBMISSION | 30.03.23 |
| F | ODASA - RESPONSE CHANGES | 31.08.23 |

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PROJECT
MOUNT LOFT GOLF ESTATE

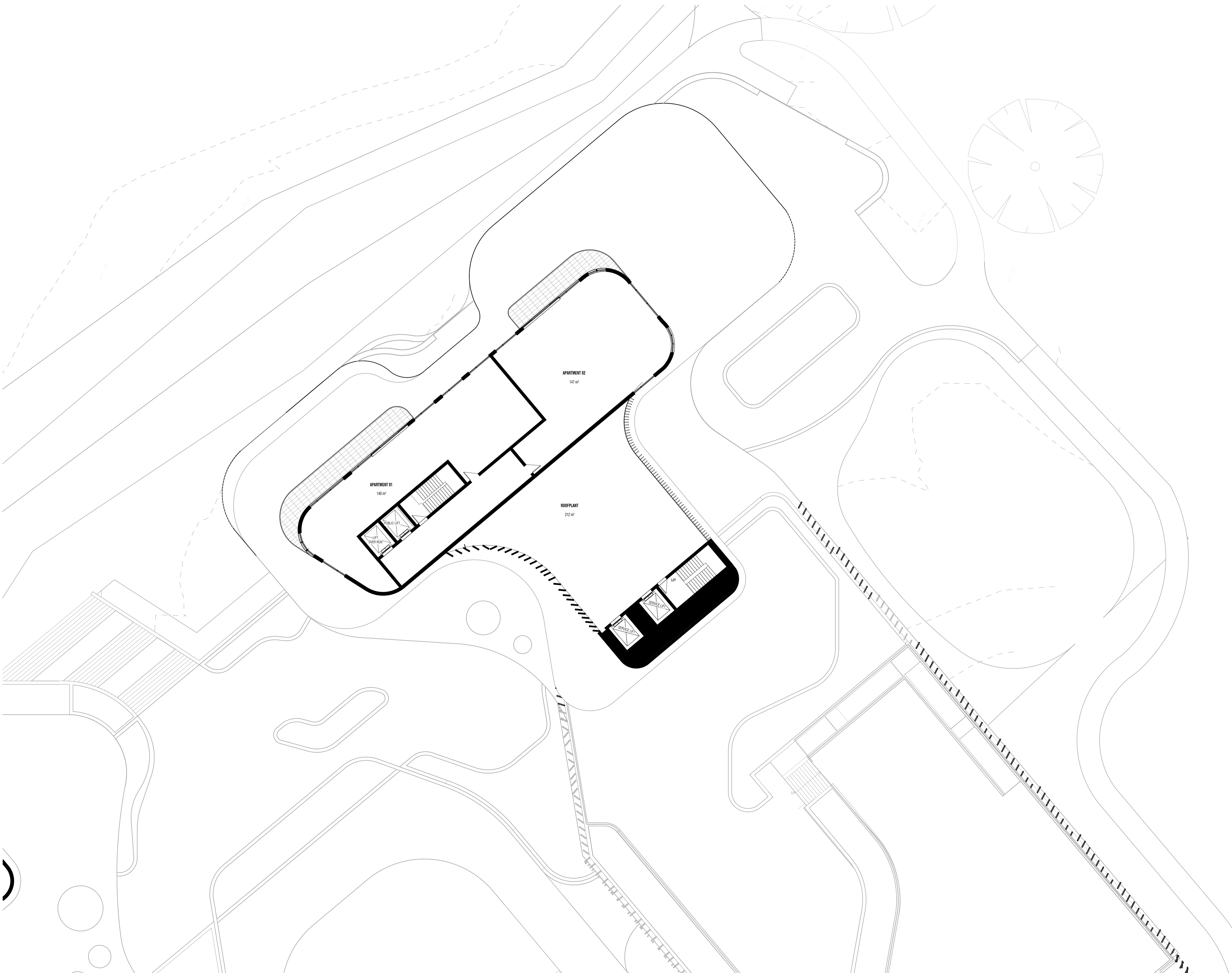
5 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1
Scale@A3
Date: 30.10.24

SHEET NAME
FACILITIES_ SECOND FLOOR PLAN

SHEET NO. TP16 REVISION: I

PRELIMINARY NOT FOR CONSTRUCTION



| | |
|----------------------------------|---------------|
| HOTEL DEVELOPMENT SUMMARY | |
| 35 GOLFWAYS RD, STIRLING, SA | |
| DEVELOPMENT SITE AREA | |
| HOTEL | |
| SUITES | 56 SUITES |
| SERVICED APARTMENT - 2 BED | 15 APARTMENTS |
| SERVICED APARTMENT - 3 BED | 15 APARTMENTS |
| PENTHOUSE APARTMENTS | 2 APARTMENTS |
| TOTAL | 88 UNITS |
| | |
| PARKING | |
| CAR SPACES - MAIN BUILDING | 200 SPACES |
| CAR SPACES - PERFUMERY OVERFLOW | 20 SPACES |

| AREA SUMMARY | |
|--------------|------|
| AREA TYPE | AREA |

| FACILITIES | |
|-------------------------------|---------------------|
| BACK OF HOUSE / SERV. - LG | 1039 m ² |
| BACK OF HOUSE / SERV. - LVL 1 | 233 m ² |
| GROUND FLOOR - F&B | 325 m ² |
| GROUND FLOOR- GOLF | 429 m ² |
| LEVEL 1 | 1393 m ² |
| LEVEL 2 | 570 m ² |
| LEVEL 3 | 447 m ² |
| LOWER GROUND | 937 m ² |
| SERVICES CORE-L3 | 54 m ² |
| | 5426 m ² |

| | |
|----------------------|---------------------|
| FACILITIES CARPARK | |
| FIRST FLOOR CARPARK | 1461 m ² |
| GROUND FLOOR CARPARK | 1886 m ² |
| LOADING BAY | 67 m ² |
| | 3413 m ² |

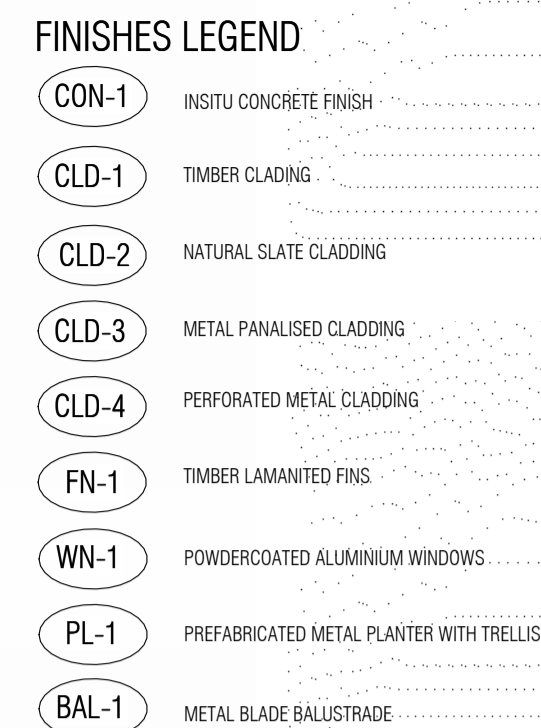
| HOTEL | |
|--------------|---------------------|
| GROUND FLOOR | 1095 m ² |
| LEVEL 1 | 2334 m ² |
| LEVEL 2 | 1659 m ² |
| LEVEL 3 | 1921 m ² |
| LOWER GROUND | 1149 m ² |
| | 8157 m ² |

| | |
|----------------------|----------------------|
| HOTEL CARPARK | |
| HOTEL CARPARK | 1352 m ² |
| LOWER GROUND CARPARK | 1515 m ² |
| | 2867 m ² |
| Grand total: 19 | 19864 m ² |

[illegible]

The drawings are to be viewed with regard to the scale and the information contained therein and for the specific purpose of the use. The information contained herein is not to be construed as an offer of any kind of insurance or other financial product. R ARCHITECTURE does not accept any responsibility for alterations or errors in the drawings. R ARCHITECTURE agrees that it will not be liable for any electronic media generated and provided by R ARCHITECTURE. The Client agrees not to use these drawings and data, in whole or in part, for any purpose or project other than that for which they were created, and to indemnify R ARCHITECTURE from all claims against R ARCHITECTURE resulting in any way from any use of any unauthorised changes or reuse of the drawings and data for any other project by anyone other than R ARCHITECTURE. In addition, the Client agrees, to the fullest extent permitted by the law, to indemnify and hold R ARCHITECTURE harmless from any damage, including reasonable attorneys' fees, arising from any claim made by anyone other than R ARCHITECTURE or from any reuse of the drawings and data other than that for which they were created, resulting from any claim made by anyone other than R ARCHITECTURE. By accepting and utilizing any drawings or other data on any form of electronic media generated and provided by R ARCHITECTURE, the Client agrees that all such drawings and data are instruments of service of R ARCHITECTURE and shall remain the property of R ARCHITECTURE and shall retain all common law, statutory law and other rights, including copyrights and intellectual property.

| | | |
|--|----------|---|
| PROJECT MOUNT LOFT GOLF ESTATE | |  |
| ADDRESS 5 GOLF LINKS ROAD, STIRLING SA 5152 | | |
| Scale@A1 | | |
| Scale@A3 | | |
| Date: | 30.10.24 | |
| SHEET NAME FACILITIES_ THIRD FLOOR PLAN | | |
| SHEET NO. | TP17 | REVISION: 1 |
| *PRELIMINARY NOT FOR CONSTRUCTION* | | |



| MATERIALS & FINISHED SCHEDULE | |
|-------------------------------|---|
| WALLS | CON-1: INSITU CONCRETE SLAB EDGE AND WALLS COLOUR: NATURAL CONCRETE |
| | PC-1: CURVED PRECASTE CONCRETE PANELS COLOUR: NATURAL CONCRETE |
| | PC-2: PRECASTE CONCRETE PANELS COLOUR: NATURAL CONCRETE |
| | CLD-1: TIMBER CLADDING - MORTLOCK TRENDPLANK SHIPLAP CLADDING SPECIES: PACIFIC TEAK - BAL-19 COMPLIANT (OR EQUIVALENT) CLEAR OILED FINISH TO WEATHER |
| | CLD-2: SLATE SHINGLE CLADDING: COLOUR: NATURAL FINISH |
| | CLD-3: PANALISED METAL CLADDING: 300MM INTERLOCKING PROFILE COLOUR: COLOURBOND NIGHT SKY (BLACK OR EQUIVALENT) |
| RAISED PLANTERS | CLD-4: PERFORATED METAL CLADDING COLOUR: COLOURBOND NIGHT SKY (BLACK OR EQUIVALENT) |
| | PL-1: PREFABRICATED ALUMINIUM PLANTER WITH WIRE TERLIS COLOUR: COLOURBOND NIGHT SKY (BLACK OR EQUIVALENT) |
| BALUSTRADE | BAL-1: SLATE BALUSTRADE COLOUR: COLOURBOND NIGHT SKY (BLACK OR EQUIVALENT) |
| WINDOWS | POWDERCOAT ALUMINIUM FRAME WINDOWS WITH GLAZING COLOUR: BLACK (OR SIMILAR) |
| DOORS | CARPARK DOORS: PERFORATED METAL SECTIONAL GARAGE DOORS COLOUR: COLOURBOND NIGHT SKY (BLACK OR SIMILAR) |

| No. | Description | Date |
|-----|-------------------------------------|----------|
| A | CONSULTANT REVIEW | 20.10.21 |
| B | DA SUBMISSION | 01.12.21 |
| C | DA - FURTHER INFORMATION, DRAFT | 08.09.22 |
| D | DA - FURTHER INFORMATION SUBMISSION | 29.11.22 |
| E | DA- FURTHER INFORMATION SUBMISSION | 30.03.23 |
| F | ODASA - RESPONSE CHANGES | 31.08.23 |

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PROJECT
MOUNT LOFT GOLF ESTATE

ADDRESS
35 GOLF LINKS ROAD, STIRLING SA 5152

| | |
|----------|----------|
| Scale@A1 | |
| Scale@A3 | |
| Date: | 30.10.24 |

SHEET NAME
ELEVATIONS FACILITIES

SHEET NO.

REVISION

TP19.1

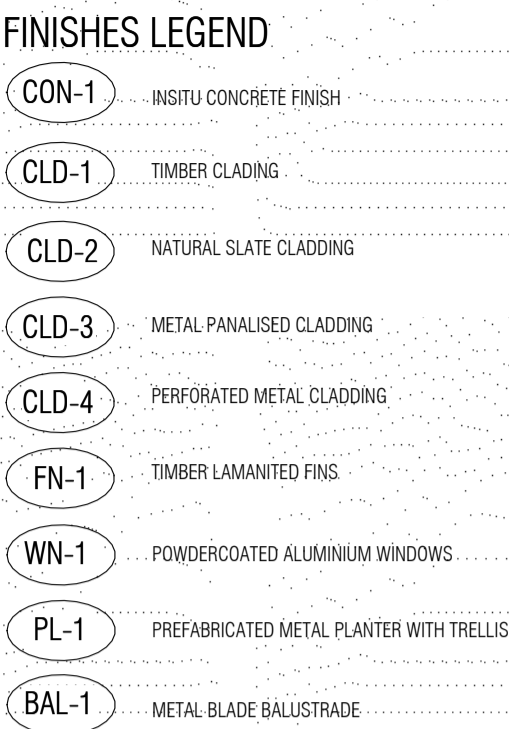
PRELIMINARY NOT FOR CONSTRUCTION



architecture | interior design | urban design | landscape
ph: 9802 0225 e: studio@rarchitectures.com.au



architecture | interior design | urban design | landscape
ph: 9802 0225 e: studio@rarchitectures.com.au



| MATERIALS & FINISHED SCHEDULE | |
|-------------------------------|---|
| WALLS | <p>CON-1: INSITU CONCRETE SLAB EDGE AND WALLS COLOUR: NATURAL CONCRETE</p> <p>PC-1: CURVED PRECASTE CONCRETE PANELS COLOUR: NATURAL CONCRETE</p> <p>PC-2: PRECASTE CONCRETE PANELS COLOUR: NATURAL CONCRETE</p> <p>CLD-1: TIMBER CLADDING - MORTLOCK TRENDPLANK SHIPLAP CLADDING SPECS: PACIFIC TEAK - BAL-19 COMPLIANT (OR EQUIVALENT) CLEAR OILED FINISH TO WEATHER</p> <p>CLD-2: SLATE SHINGLE CLADDING COLOUR: NATURAL FINISH</p> <p>CLD-3: PAVILISED METAL CLADDING: 300MM INTERLOCKING PROFILE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)</p> <p>CLD-4: PERFORATED METAL CLADDING: COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)</p> |
| | <p>RAISED PLANTERS</p> |
| | <p>BALUSTRADE</p> |
| | <p>WINDOWS</p> |
| | <p>DOORS</p> |

[illegible]

The drawings are to be viewed with regard to the scale at which the document has been issued and for the specific purpose of the use. The information contained within is considered to be correct at the time of drawing. As an uncontrolled document, it is not subject to responsibility or alterations by persons once issued. By accepting and utilizing any documents or other data or any form of electronic media generated and provided by RARCHITECTURE the Client agrees not to use these drawings and data, in whole or in part, for any purpose or project other than the project which is the subject of the agreement. The Client agrees to waive any and all rights to the drawings and data, in whole or in part, and to accept any changes or reuse of the drawings and data for any other project by anyone other than RARCHITECTURE. In addition, the Client agrees, to the fullest extent permitted by the law, to indemnify and hold RARCHITECTURE harmless from any damage, loss, liability, or expense, including reasonable attorneys' fees, that may be incurred by anyone other than RARCHITECTURE or from any reuse of the drawings and data other than prior written consent of RARCHITECTURE. By accepting and utilizing any drawings or other data on any form of electronic media generated and provided by RARCHITECTURE, the Client agrees that such drawings and data are instruments or documents that may be subject to public record and that the Client agrees to accept and shall retain all common law, statutory law and other rights, including copyrights and intellectual property.

PROJECT
MOUNT LOFT GOLF ESTATE

35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1

Scale@A3

Date: 30.10.24

SHEET NAME
ELEVATION FACILITIES

Figure 1. The effect of the concentration of the *Agrobacterium* suspension on the transformation efficiency of *Agrobacterium* strains. The number of transformed cells was determined by the number of colonies obtained on the selective medium. The results are the mean of three independent experiments. Error bars represent standard deviation.

SHEET NO. _____ REVISION: _____

IP19.2

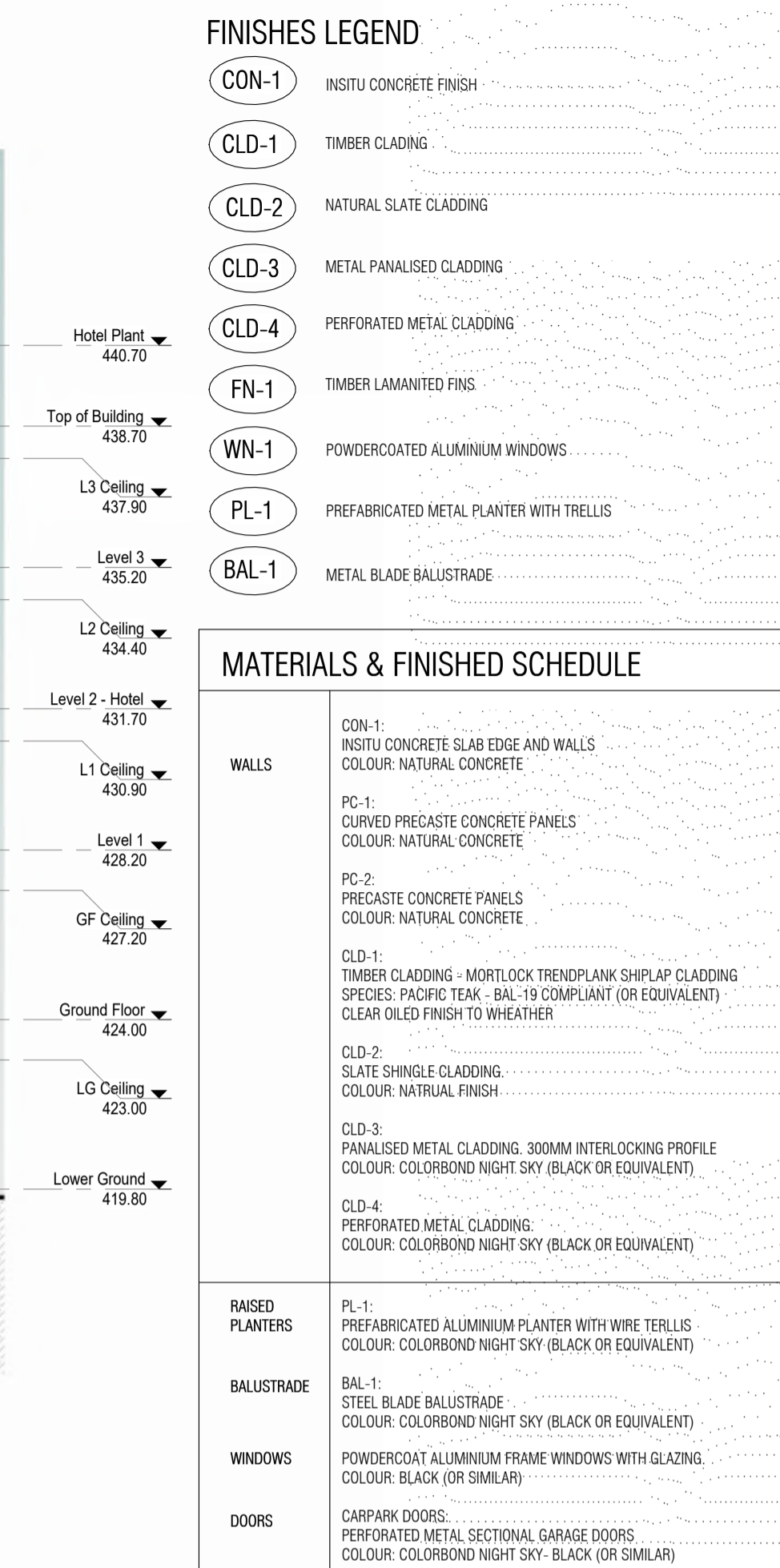
PRELIMINARY NOT FOR CONSTRUCTION



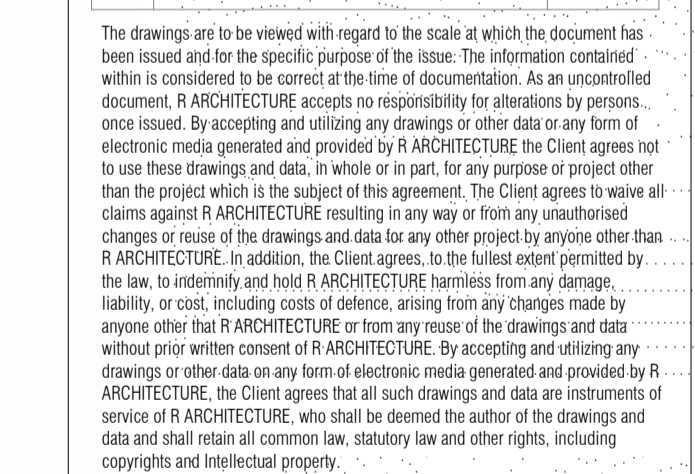
SCALE 1:150



SCALE 1:175



1 HOTEL_EAST ELEVATION
SCALE 1:150



2 HOTEL SOUTH ELEVATION
SCALE 1:150

| | |
|--|-----------|
| PROJECT | |
| MOUNT LOFT GOLF ESTATE | |
| ADDRESS | |
| 35 GOLF LINKS ROAD, STIRLING SA 5152 | |
| Scale/A1 | |
| Scale/A3 | |
| Date: | 30.10.24 |
| SHEET NAME | |
| ELEVATION_HOTEL | |
| SHEET NO. | REVISION: |
| <div style="font-size: 48px; font-weight: bold; margin: 0;">TP19.4</div> <div style="font-size: 24px; font-weight: bold; margin: 0;">I</div> | |
| <div style="border: 1px solid black; padding: 5px; font-weight: bold; font-size: 14px;">*PRELIMINARY NOT FOR CONSTRUCTION*</div> | |



The drawings are to be viewed with regard to the scale at which the document has been issued and for the specific purpose of the issue. The information contained therein is considered to be correct at the time of documentation. As an uncontrolled document, R.A. ARCHITECTURE accepts no responsibility for alterations by persons other than R.A. ARCHITECTURE. Any drawings or other data or any form of electronic media generated and provided by R.A. ARCHITECTURE the Client agrees not to use these drawings and data, in whole or in part, for any purpose or project other than the project which is the subject of this agreement. The Client agrees to waive any and all rights of copyright and/or patent in the drawings and data and to make any changes or revisions to the drawings and data at any time provided by anyone other than R.A. ARCHITECTURE. In addition, the Client agrees, to the fullest extent permitted by law, to indemnify and hold R.A. ARCHITECTURE harmless from any damage, liability, or cost, including reasonable attorneys' fees, arising from any changes to the drawings and data provided by R.A. ARCHITECTURE or from anyone other than R.A. ARCHITECTURE. The Client agrees to maintain the drawings and data without prior written consent of R.A. ARCHITECTURE. By accepting and utilizing any drawings or other data on any form of electronic media generated and provided by R.A. ARCHITECTURE, the Client agrees that all such drawings and data are instruments of service and that the drawings and data are the property of R.A. ARCHITECTURE and shall remain all common law, statutory law and other rights, including copyrights and intellectual property.

TP19.5

PRELIMINARY NOT FOR CONSTRUCTION





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Date: 30.10.24

SHEET NO. _____ DESIGN _____

11.20.2

The drawings are to be viewed with regard to the scale and the information contained therein and for the specific purpose of the use. The information contained herein is not to be construed as an offer of any kind of insurance or other financial product. R ARCHITECTURE does not accept any responsibility for alterations or omissions. By accepting and utilizing any drawings or other data or any form of electronic media generated and provided by R ARCHITECTURE the Client agrees to use these drawings and data, in whole or in part, for any purpose or project other than that specifically intended, without incurring any liability or claims against R ARCHITECTURE resulting in any way from any unauthorized changes or reuse of the drawings and data for any other project by anyone other than R ARCHITECTURE. In addition, the Client agrees, to the fullest extent permitted by the law, to indemnify and hold R ARCHITECTURE harmless from any damage, liability or claim, including reasonable attorneys' fees, arising from any claim made by anyone other than R ARCHITECTURE or from any reuse of the drawings and data other than that specifically intended, without incurring any liability or claims other than what is specifically intended by R ARCHITECTURE. By accepting and utilizing any drawings or other data or any form of electronic media generated and provided by R ARCHITECTURE, the Client agrees that all such drawings and data are instruments of service and that R ARCHITECTURE retains all rights in and to such drawings and data and shall retain all common law, statutory law and other rights, including copyrights and intellectual property.

PROJECT

MOUNT LOFT GOLF ESTATE

5 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1
Scale@A3
Date: 30.10.24

SHEET NAME
SECTIONS_REFERENCE PLAN

SHEET NO. _____ REVISION: _____

TP20.3 C

PRELIMINARY NOT FOR CONSTRUCTION



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PROJECT

MOUNT LOFTY GOLF ESTATE

5 GOLF LINKS ROAD, STIRLING SA 5152

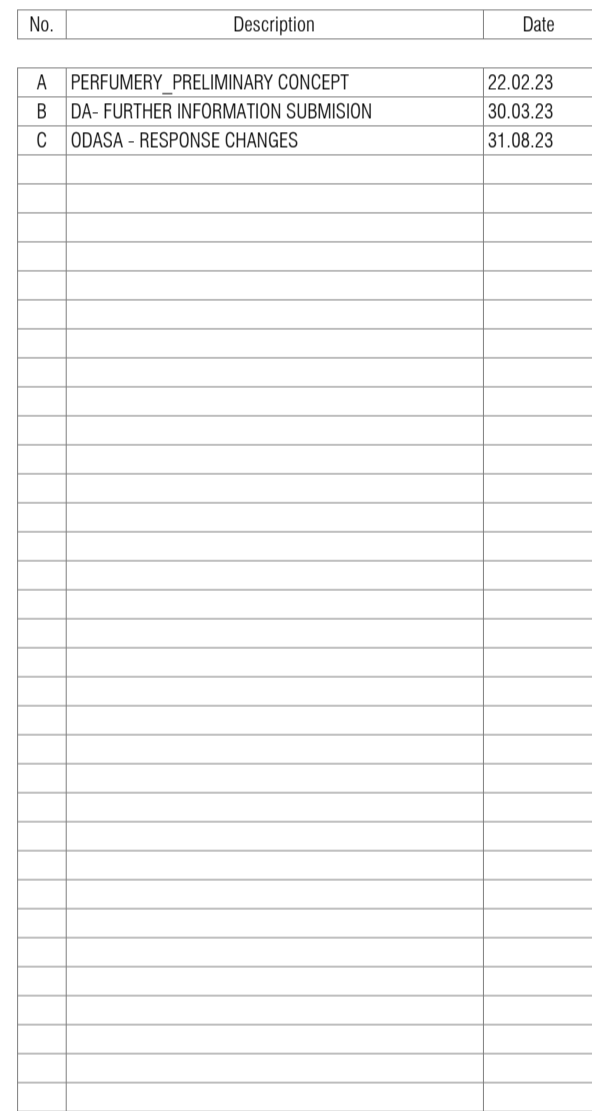
| | |
|----------|----------|
| Scale@A1 | 1:200 |
| Scale@A3 | 1:400 |
| Date: | 31.08.23 |

SHEET NAME
PERFUMERY - SITE PLAN

SHEET NO. _____ REVISION: _____

TP21.0


*PRELIMINARY NOT FOR CONSTRUCTION



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PROJECT
MOUNT LOFTY GOLF ESTATE

ADDRESS
35 GOLF LINKS ROAD, STIRLING SA 5152

| | | |
|----------|----------|---|
| Scale@A1 | 1:100 |  |
| Scale@A3 | 1:200 | |
| Date: | 31.08.23 | |

SHEET NAME

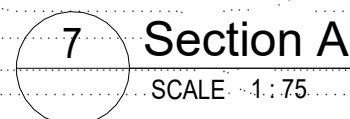
PERFUMERY - GROUND FLOOR PLAN

SHEET NO. _____ REVISION: _____

TP21.1 C

*PRELIMINARY NOT FOR CONSTRUCTION *





| | |
|-------|--|
| ST-1 | STONE CLADDING |
| EX-ST | EXISTING REFURBISHED STONE |
| RF-1 | NEW STANDING SEAM ROOF |
| RF-2 | NEW - REFURBISHED ROOF - TO MATCH EXISTING |
| MF-1 | METAL ROOF FACIA |
| STB-1 | POWDERCOATED STEEL BEAM |
| WN-1 | POWDERCOATED ALUMINUM WINDOWS |
| WN-2 | POWDERCOATED STEEL WINDOWS |
| GL-1 | FRAMELESS GLASS INFIL |

has drawn up to be reviewed with regard to the scale at which the document has been issued and for the specific purpose of the issue. The information contained therein is considered to be correct at the time of documentation. As an uncontrolled document, RARECHTICE accepts no responsibility for alterations by persons. RARECHTICE is not responsible for the accuracy of the data or the quality of electronic media generated and provided by RARECHTICE. The Client agrees not to use these drawings and data, in whole or in part, for any purpose or project other than the project which is the subject of this agreement. The Client agrees to waive all rights of copyright and/or patent in the drawings and data, and to make no changes or alterations to the drawings and data or any other project by anyone other than RARECHTICE. In addition, the Client agrees, to the fullest extent permitted by law, to indemnify and hold RARECHTICE harmless from any damage, liability, or cost, including costs of defence, arising from any changes made by the Client to the RARECHTICE drawings and data, or from any use of the drawings and data not within the scope of the agreement, or from any use of drawings not within the scope of the agreement, or from any use of drawings not within the scope of the agreement, or from any use of drawings not within the scope of the agreement. The Client agrees that all such drawings and data are instruments of service of RARECHTICE, who shall be the sole author of all drawings and data, and shall retain all copyright, statutory and other rights, including copyrights and intellectual property.

*PRELIMINARY NOT FOR CONSTRUCTION



PROJECT
MOUNT LOFTY GOLF ESTATE

| |
|----------------|
| Scale@A1 |
| Scale@A3 |
| Date: 31.08.23 |

SHEET NAME

PERFUMERY - 3D VIEWS

| | |
|-----------|-----------|
| SHEET NO. | REVISION: |
|-----------|-----------|

TP21.4 B

*PRELIMINARY NOT FOR CONSTRUCTION *



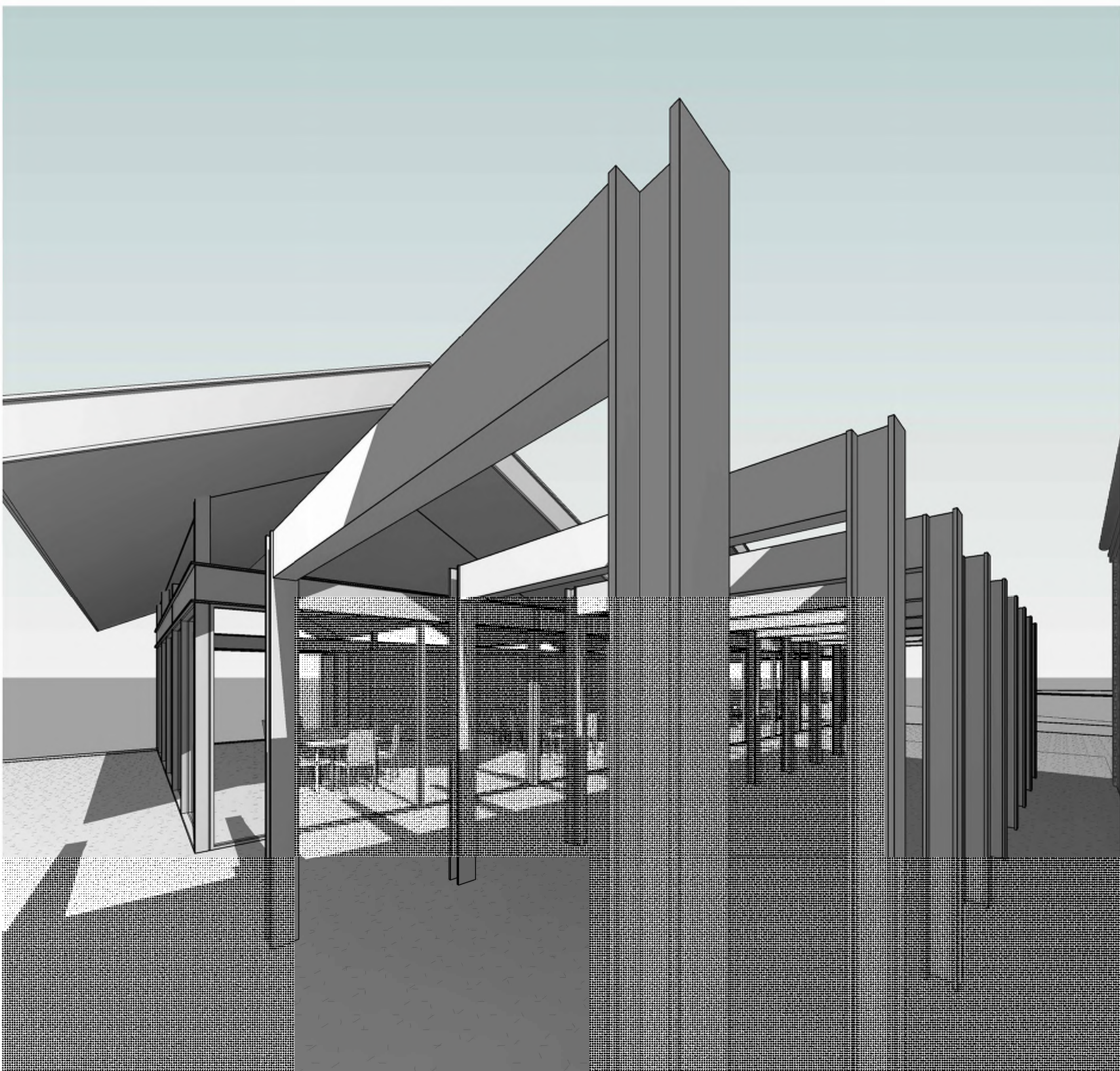
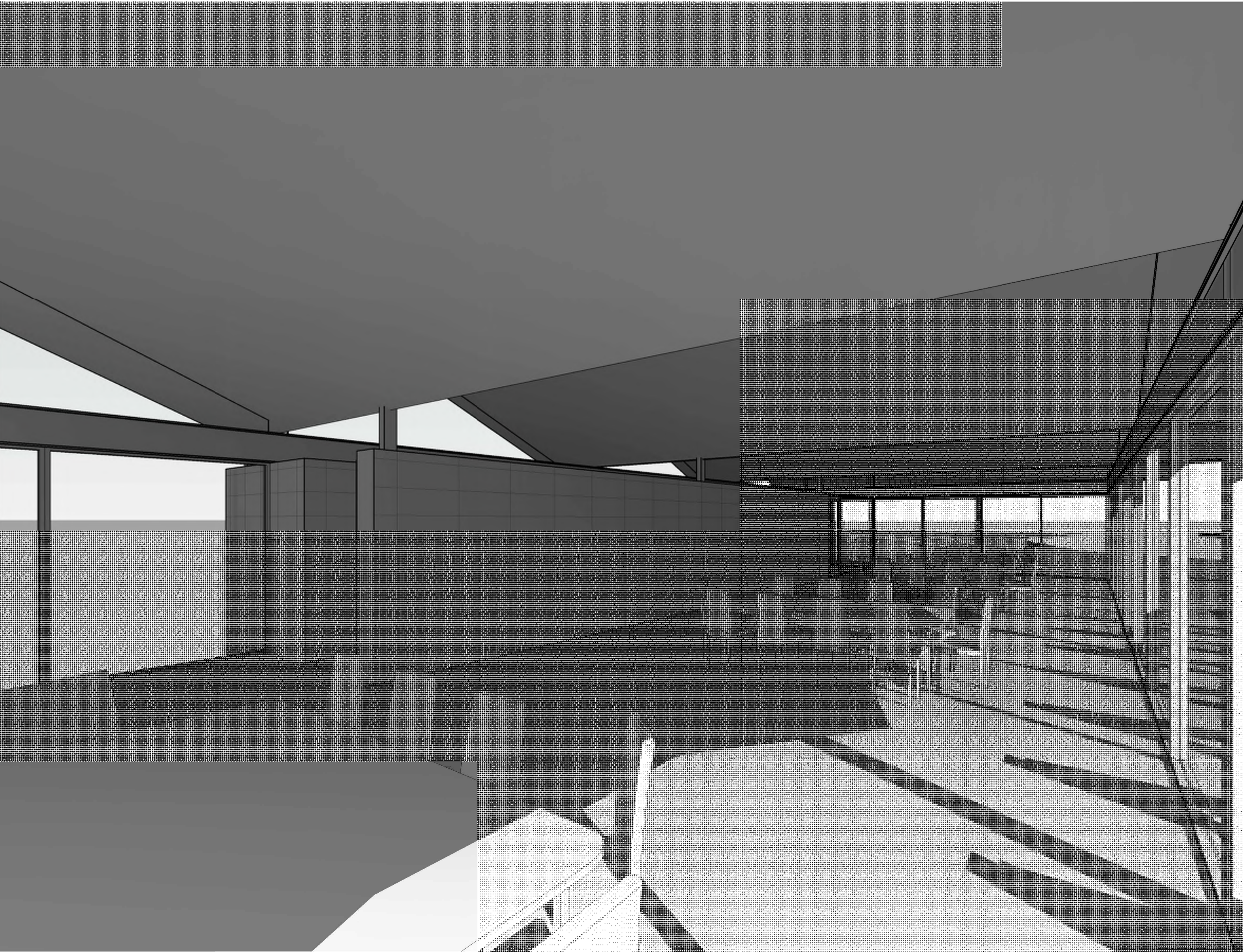
PROJECT
MOUNT LOFTY GOLF ESTATE

Scale@A1
Scale@A3

SHEET NO. _____ REVISION: _____

TP21.4.1 ^B

*PRELIMINARY NOT FOR CONSTRUCTION *



| No. | Description | Date |
|-----|-------------------------------------|----------|
| A | PERFUMERY - PRELIMINARY CONCEPT | 22.02.23 |
| B | DA - FURTHER INFORMATION SUBMISSION | 30.03.23 |
| C | ODASA - RESPONSE CHANGES | 31.08.23 |

The drawings are to be viewed with regard to the scale at which the document has been issued and for the specific purpose of the issue. The information contained within is considered to be correct at the time of documentation. As an uncontrolled document, R ARCHITECTURE accepts no responsibility for alterations by persons once issued. By accepting and utilizing any drawings or other data or any form of electronic media generated and provided by R ARCHITECTURE the Client agrees not to use these drawings and data, in whole or in part, for any purpose or project other than the project which is the subject of this agreement. The Client agrees to waive all claims against R ARCHITECTURE resulting in any way or from any unauthorised changes or reuse of the drawings and data for any other project by anyone other than R ARCHITECTURE. In addition, the Client agrees, to the fullest extent permitted by the law, to indemnify and hold R ARCHITECTURE harmless from any damage, liability, or cost, including costs of defence, arising from any changes made by anyone other than R ARCHITECTURE or from any reuse of the drawings and data without prior written consent of R ARCHITECTURE. By accepting and utilizing any drawings or other data on any form of electronic media generated and provided by R ARCHITECTURE, the Client agrees that all such drawings and data are instruments of service of R ARCHITECTURE, who shall be deemed the author of the drawings and data and shall retain all common law, statutory law and other rights, including copyrights and intellectual property.

PROJECT

MOUNT LOFTY GOLF ESTATE

ADDRESS

35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1

Scale@A3

Date:

31.08.23

SHEET NAME

PERFUMERY - 3D VIEWS

SHEET NO.

REVISION:

TP21.4.2^c

PRELIMINARY NOT FOR CONSTRUCTION

MATERIAL IMAGES



ST-1:
SMOOTH CUT BASKET RANGE SANDSTONE



RF-1:
STANDINGSEAM METAL ROOF SHEETING - BLACK



STB-1 & GL-1:
EXPOSED STEEL BEAM & FIXED FRAMELESS GLASS



WIN-1 & 2:
POWDERCOAT METAL WINDOWS - BLACK



INTERIOR CONCEPT IMAGES



TIMBER CEILING LINING TO PERFUMERY



CUSTOM FREESTANDING DISPLAYS



CUSTOM FREESTANDING DISPLAYS & COUNTERS

FINISHES LEGEND

| | |
|-------|--|
| ST-1 | STONE CLADDING |
| EX-ST | EXISTING REFURBISHED STONE |
| RF-1 | NEW STANDING SEAM ROOF |
| RF-2 | NEW - REFURBISHED ROOF - TO MATCH EXISTING |
| MF-1 | METAL ROOF FACIA |
| STB-1 | POWDERCOATED STEEL BEAM |
| WN-1 | POWDERCOATED ALUMINIUM WINDOWS |
| WN-2 | POWDERCOATED STEEL WINDOWS |
| GL-1 | FRAMELESS GLASS INFILL |

[illegible]

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PROJECT
MOUNT LOFTY GOLF ESTATE

ADDRESS
35 GOLF LINKS ROAD, STIRLING SA 5152

Scale@A1

Scale@A3

31.08.23

SHEET NAME

PERFUMERY - MATERIALS & PRECEDENTS

SHEET NO.

REVISION:

TP21.5

C

*PRELIMINARY NOT FOR CONSTRUCTION *

CONSTRUCT NEW FUNCTION PAVILION &
REFURBISH PERFUMERY.
UPGRADE / REFURBISH GOLF COURSE

[illegible]

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5 GOLF LINKS ROAD, STIRLING SA 5152

Date: 30.10.24

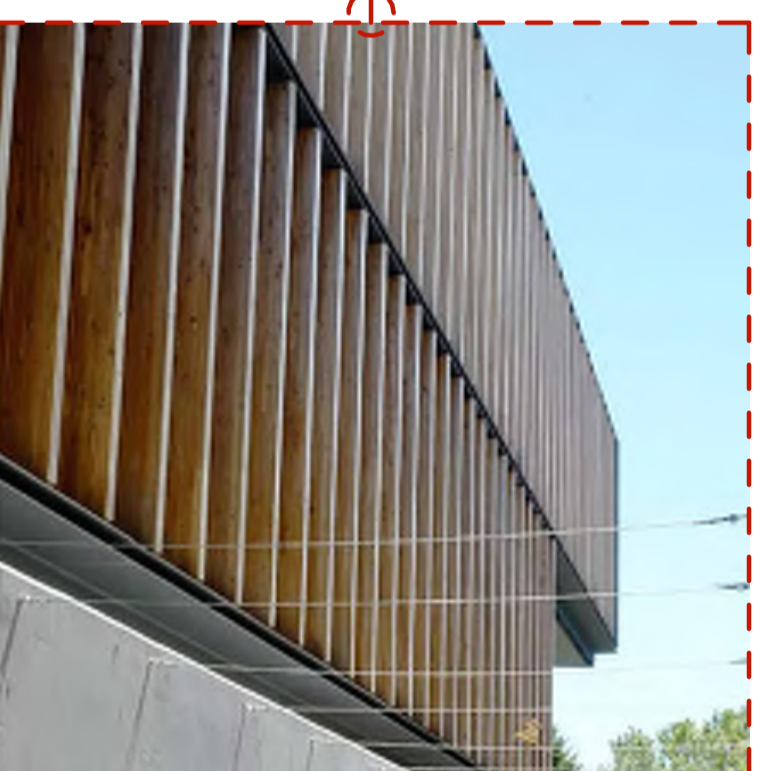
STAGING PLANS

VISION:

TP22.3

PRELIMINARY NOT FOR CONSTRUCTION





FN-1

BAL-1 METAL BLADE BALUSTRADE

| | |
|-----------------|--|
| WALLS | <p>CON-1: INSITU CONCRETE SLAB EDGE AND WALLS COLOUR: NATURAL CONCRETE</p> <p>PC-1: CURVED PRECAST CONCRETE PANELS COLOUR: NATURAL CONCRETE</p> <p>PC-2: PRECAST CONCRETE PANELS COLOUR: NATURAL CONCRETE</p> <p>CLD-1: TIMBER CLADDING - MORTLOCK TRENDPLANK SHIPLAP CLADDING SPECIES: PACIFIC TEAK - BAL-19 COMPLIANT (OR EQUIVALENT) CLEAR OILED FINISH TO WEATHER</p> <p>CLD-2: SLATE SHINGLE CLADDING COLOUR: NATURAL FINISH</p> <p>CLD-3: PANALISED METAL CLADDING, 300MM INTERLOCKING PROFILE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)</p> <p>CLD-4: PERFORATED METAL CLADDING COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)</p> |
| RAISED PLANTERS | <p>PL-1: PREFABRICATED ALUMINIUM PLANTER WITH WIRE TETILLIS COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)</p> |
| BALUSTRADE | <p>BAL-1: STEEL BLADE BALUSTRADE COLOUR: COLORBOND NIGHT SKY (BLACK OR EQUIVALENT)</p> |
| WINDOWS | <p>POWDERCOAT ALUMINIUM FRAME WINDOWS WITH GLAZING COLORBOND (OR SIMILAR)</p> |
| DOORS | <p>CARPARK DOORS: PERFORATED METAL SECTIONAL GARAGE DOORS COLOUR: COLORBOND NIGHT SKY - BLACK (OR SIMILAR)</p> |

[illegible]

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PROJECT

MOUNT LOFT GOLF ESTATE

ADDRESS:

35 GOLF LINKS ROAD, STIRLING SA 5152

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Date: 30.10.24

SHEET

MATERIALS PALLET

SHEET

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